JAL CLA 1 4A 4A 1 1 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2	5 S REALTY CO. PO BOX 8370 RED BANK, NJ FIVE S REALTY PO BOX 8370 RED BANK, NJ S S REALTY CO % WAWA CO 260 WEST BALTIMORE PIKE WAWA, PA ROSE GLEN % INTEGRA: DA 200 VALLEY ROAD MT. ARLINGTON, NJ ROSE GLEN % INTEGRA: DA 200 VALLEY ROAD MT. ARLINGTON, NJ SLOCUM, ROBERT & LAU, J 39 PHOENIX COURT TINTON FALLS, NJ PANCHAK, VICTORIA L 40 PHOENIX COURT TINTON FALLS, NJ BLACK, PATRICIA 37 PHOENIX COURT TINTON FALLS, NJ BLACK, PATRICIA 37 PHOENIX COURT TINTON FALLS, NJ LOMBARDI, CHRISTOPER &BU 36 PHOENIX COURT TINTON FALLS, NJ LOMBARDI, CHRISTOPER &BU 36 PHOENIX COURT TINTON FALLS, NJ LENTZ, ROBERT & KIMBERL 36 PHOENIX COURT TINTON FALLS, NJ LENTZ, ROBERT & KIMBERL 37 PHOENIX COURT TINTON FALLS, NJ LENTZ, ROBERT & KIMBERL 38 PHOENIX COURT TINTON FALLS, NJ LENTZ, ROBERT & KIMBERL 37 PHOENIX COURT TINTON FALLS, NJ LENTZ, ROBERT & KIMBERL 38 PHOENIX COURT TINTON FALLS, NJ NCROWNEL, MICHAEL D 55 PHOENIX COURT TINTON FALLS, NJ MCCONNELL, MICHAEL D 55 PHOENIX COURT TINTON FALLS, NJ NICKERSON, SCOTT A. & K	07701 07701 RP ACCT DEP 19063 WN MONETTI 07856 ENNIFER T 07712 07712 07712 NIFER M 07712 RNS, KAITLI 07712 07712 NIFER M	KYLE DRIVE MICHAEL DRIVE 39 PHOENIX COURT 40 PHOENIX COURT 37 PHOENIX COURT 38 PHOENIX COURT	124.51	L07 240 241 242 243 244 245 246 247		4 BOISÉ COURT TINTON FALLS, NJ SIMS, RHONDA D. 9 BOISE COURT TINTON FALLS, NJ BYRNE, PATRICIA 10 BOISE COURT TINTON FALLS, NJ DULKUMONI, AMIN 12 BOISE COURT TINTON FALLS, NJ		PROPERTY LOC, 4 BOISE COURT 9 BOISE COURT 10 BOISE COURT 11 BOISE COURT
4A 1 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2	FIVE S REALTY PO BOX 8370 RED BANK, NJ S S REALTY CO % WAWA CO 260 WEST BALTIMORE PIKE WAWA, PA ROSE GLEN % INTEGRA: DA 200 VALLEY ROAD MT. ARLINGTON, NJ ROSE GLEN % INTEGRA: DA 200 VALLEY ROAD MT. ARLINGTON, NJ SLOCUM, ROBERT & LAU, J 39 PHOENIX COURT TINTON FALLS, NJ PANCHAK, VICTORIA L 40 PHOENIX COURT TINTON FALLS, NJ BLACK, PATRICIA 37 PHOENIX COURT TINTON FALLS, NJ BLACK, PATRICIA 37 PHOENIX COURT TINTON FALLS, NJ BLACK, PATRICIA 38 PHOENIX COURT TINTON FALLS, NJ COMBARDI, CHRISTOPER &BU 35 PHOENIX COURT TINTON FALLS, NJ GEOGHAN, MELISSA 36 PHOENIX COURT TINTON FALLS, NJ GEOGHAN, MELISSA 36 PHOENIX COURT TINTON FALLS, NJ CRAWFORD, AMANDA 34 PHOENIX COURT TINTON FALLS, NJ MCCONNELL, MICHAEL D 55 PHOENIX COURT TINTON FALLS, NJ	07701 RP ACCT DEP 19063 WN MONETTI 07856 WN MONETTI 07856 ENNIFER T 07712 07712 07712 NIFER M 07712 RNS, KAITLI 07712 07712 Y 07712	T 2000 SHAFTO ROAD KYLE DRIVE MICHAEL DRIVE 39 PHOENIX COURT 40 PHOENIX COURT 37 PHOENIX COURT 38 PHOENIX COURT N 35 PHOENIX COURT 36 PHOENIX COURT	124.51 124.51 124.51 124.51 124.51 124.51 124.51	242 243 244 245 246	2 2 2 2	SIMS, RHONDA D. 9 BOISE COURT TINTON FALLS, NJ BYRNE, PATRICIA 10 BOISE COURT TINTON FALLS, NJ KINELSKI, TAWMY L 11 BOISE COURT TINTON FALLS, NJ DULKUMONI, AMIN 12 BOISE COURT TINTON FALLS, NJ	07712 07712	10 BOISE COURT
1 1 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2	5 S REALTY CO % WAWA CO 260 WEST BALTIMORE PIKE WAWA, PA ROSE GLEN % INTEGRA: DA 200 VALLEY ROAD MT. ARLINGTON, NJ ROSE GLEN % INTEGRA: DA 200 VALLEY ROAD MT. ARLINGTON, NJ SLOCUM, ROBERT & LAU, J 39 PHOENIX COURT TINTON FALLS, NJ PANCHAK, VICTORIA L 40 PHOENIX COURT TINTON FALLS, NJ BLACK, PATRICIA 37 PHOENIX COURT TINTON FALLS, NJ BLACK, PATRICIA 37 PHOENIX COURT TINTON FALLS, NJ LOMBARDI, CHRISTOPER &BU 38 PHOENIX COURT TINTON FALLS, NJ LOMBARDI, CHRISTOPER &BU 35 PHOENIX COURT TINTON FALLS, NJ GEOGHAN, MELISSA 36 PHOENIX COURT TINTON FALLS, NJ CRAWFORD, AMANDA 34 PHOENIX COURT TINTON FALLS, NJ CRAWFORD, AMANDA 34 PHOENIX COURT TINTON FALLS, NJ MCCONNELL, MICHAEL D 55 PHOENIX COURT TINTON FALLS, NJ MCCONNELL, MICHAEL D 55 PHOENIX COURT TINTON FALLS, NJ NICKERSON, SCOTT A. & K	RP ACCT DEP 19063 WN MONETTI 07856 WN MONETTI 07856 ENNIFER T 07712 07712 07712 NIFER M 07712 RNS, KAITLI 07712 07712 Y 07712	KYLE DRIVE MICHAEL DRIVE 39 PHOENIX COURT 40 PHOENIX COURT 37 PHOENIX COURT 38 PHOENIX COURT N 35 PHOENIX COURT 36 PHOENIX COURT	124.51 124.51 124.51 124.51 124.51 124.51	243 244 245 246	2 2 2	BYRNE, PATRICIA 10 BOISE COURT TINTON FALLS, NJ KINELSKI, TAMMY L 11 BOISE COURT TINTON FALLS, NJ DULKUMONI, AMIN 12 BOISE COURT TINTON FALLS, NJ	07712	
1 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2	ROSE GLEN % INTEGRA: DA 200 VALLEY ROAD MT. ARLINGTON, NJ ROSE GLEN % INTEGRA: DA 200 VALLEY ROAD MT. ARLINGTON, NJ SLOCUM, ROBERT & LAU, J 39 PHOENIX COURT TINTON FALLS, NJ PANCHAK, VICTORIA L 40 PHOENIX COURT TINTON FALLS, NJ BLACK, PATRICIA 37 PHOENIX COURT TINTON FALLS, NJ BLACK, PATRICIA 38 PHOENIX COURT TINTON FALLS, NJ LOMBARDI, CHRISTOPER &BU 35 PHOENIX COURT TINTON FALLS, NJ GEOGHAN, MELISSA 36 PHOENIX COURT TINTON FALLS, NJ GEOGHAN, MELISSA 36 PHOENIX COURT TINTON FALLS, NJ GEOGHAN, MELISSA 36 PHOENIX COURT TINTON FALLS, NJ GRAWFORD, AMANDA 34 PHOENIX COURT TINTON FALLS, NJ MCCONNELL, MICHAEL D S5 PHOENIX COURT TINTON FALLS, NJ NICKERSON, SCOTT A. & K	WN MONETTI 07856 WN MONETTI 07856 ENNIFER T 07712 07712 07712 NIFER M 07712 RNS, KAITLI 07712 07712 Y 07712	MICHAEL DRIVE 39 PHOENIX COURT 40 PHOENIX COURT 37 PHOENIX COURT 38 PHOENIX COURT N 35 PHOENIX COURT 36 PHOENIX COURT	124.51 124.51 124.51 124.51 124.51	244 245 246	2	KINELSKI, TAMWY L 11 BOISE COURT TINTON FALLS, NJ DULKUMONI, AMIN 12 BOISE COURT TINTON FALLS, NJ		11 BOISE COURT
2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2	ROSE GLEN % INTEGRA: DA 200 VALLEY ROAD MT. ARLINGTON, NJ SLOCUM ROBERT & LAU, J 39 PHOENIX COURT TINTON FALLS, NJ PANCHAK, VICTORIA L 40 PHOENIX COURT TINTON FALLS, NJ BLACK, PATRICIA 37 PHOENIX COURT TINTON FALLS, NJ HENNANDEZ, FELIPE & JEN 36 PHOENIX COURT TINTON FALLS, NJ LOMBARDI, CHRISTOPER &BU 35 PHOENIX COURT TINTON FALLS, NJ GEOGHAN, MELISSA 36 PHOENIX COURT TINTON FALLS, NJ LENTZ, ROBERT & KIMBERL 33 PHOENIX COURT TINTON FALLS, NJ LENTZ, ROBERT & KIMBERL 34 PHOENIX COURT TINTON FALLS, NJ MCCONNELL, MICHAEL D 55 PHOENIX COURT TINTON FALLS, NJ NICKERSON, SCOTT A. & K	WN MONETTI 07856 ENNIFER T 07712 07712 07712 NIFER M 07712 RNS, KAITLI 07712 07712 Y 07712	39 PHOENIX COURT 40 PHOENIX COURT 37 PHOENIX COURT 38 PHOENIX COURT N 35 PHOENIX COURT 36 PHOENIX COURT	124.51 124.51 124.51 124.51	245 246	2	DULKUMONI, AMIN 12 BOISE COURT TINTON FALLS, NJ	07712	
2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2	SLOCUM, ROBERT & LAU, J 39 PHOENIX COURT TINTON FALLS, NJ PANCHAK, VICTORIA L 40 PHOENIX COURT TINTON FALLS, NJ BLACK, PATRICIA 37 PHOENIX COURT TINTON FALLS, NJ HERNANDEZ, FELIPE & JEN 38 PHOENIX COURT TINTON FALLS, NJ LOMBARDI CHRISTOPER &BU 35 PHOENIX COURT TINTON FALLS, NJ GEOGHAN, MELISSA 36 PHOENIX COURT TINTON FALLS, NJ LENTZ, ROBERT & KIMBERL 33 PHOENIX COURT TINTON FALLS, NJ CRAWFORD, AMANDA 34 PHOENIX COURT TINTON FALLS, NJ MCCONNELL, MICHAEL D 55 PHOENIX COURT TINTON FALLS, NJ MCCONNELL, MICHAEL D 55 PHOENIX COURT TINTON FALLS, NJ NICKERSON, SCOTT A. & K	ENNIFER T 07712 07712 07712 NIFER M 07712 RNS, KAITLI 07712 07712 Y 07712	40 PHOENIX COURT 37 PHOENIX COURT 38 PHOENIX COURT N 35 PHOENIX COURT 36 PHOENIX COURT	124.51 124.51 124.51	246		TINTON FALLS, NJ		12 BOISE COURT
2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2	PANCHAK, VICTORIA L 40 PHOENIX COURT TINTON FALLS, NJ BLACK, PATRICIA 37 PHOENIX COURT TINTON FALLS, NJ HERNANDEZ, FELIPE & JEN 38 PHOENIX COURT TINTON FALLS, NJ LOMBARDI, CHRISTOPER & BU 35 PHOENIX COURT TINTON FALLS, NJ GEOGHAN, MELISSA 36 PHOENIX COURT TINTON FALLS, NJ LENTZ, ROBERT & KIMBERL 33 PHOENIX COURT TINTON FALLS, NJ CRAWFORD, AMANDA 34 PHOENIX COURT TINTON FALLS, NJ MCCONNELL, MICHAEL D 55 PHOENIX COURT TINTON FALLS, NJ MCCONNELL, MICHAEL D 55 PHOENIX COURT TINTON FALLS, NJ NICKERSON, SCOTT A. & K	07712 07712 NIFER M 07712 RNS, KAITLI 07712 07712 Y 07712	37 PHOENIX COURT 38 PHOENIX COURT N 35 PHOENIX COURT 36 PHOENIX COURT	124.51 124.51		2	PAIXAO, KATHRYN E 13 BOISE COURT	07712	13 BOISE COURT
2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2	TINTON FALLS, NJ BLACK, PATRICIA 37 PHÓENIX COURT TINTON FALLS, NJ HERNANDEZ, FELIPE & JEN 38 PHÓENIX COURT TINTON FALLS, NJ LOMBARDI, CHRISTOPER &BU 35 PHÓENIX COURT TINTON FALLS, NJ GEOGHAN, MELISSA 36 PHÓENIX COURT TINTON FALLS, NJ LENTZ, ROBERT & KIMBERL 33 PHÓENIX CT TINTON FALLS, NJ CRAWFORD, AMANDA 34 PHÓENIX COURT TINTON FALLS, NJ MCCONNELL, MICHAEL D S5 PHÓENIX COURT TINTON FALLS, NJ NICKERSON, SCOTT A. & K	07712 NIFER M 07712 RNS, KAITLI 07712 07712 Y 07712	38 PHOENIX COURT N 35 PHOENIX COURT 36 PHOENIX COURT	124.51	247		TINTON FALLS, NJ OERTEL. JEFFREY	07712	14 BOISE COURT
2 2 2 2 2 2 2 2 2 2 2 2 2 2	TINTON FALLS, NJ HERNANDEZ, FELIPE & JEN 38 PHOENIX COURT TINTON FALLS, NJ LOMBARDI CHRISTOPER &BU 35 PHOENIX COURT TINTON FALLS, NJ GEOGHAN, MELISSA 36 PHOENIX COURT TINTON FALLS, NJ LENTZ, ROBERT & KIMBERL 33 PHOENIX CT TINTON FALLS, NJ CRAWFORD, AMANDA 34 PHOENIX COURT TINTON FALLS, NJ MCCONNELL, MICHAEL D 55 PHOENIX COURT TINTON FALLS, NJ MCCONNELL, MICHAEL D 55 PHOENIX COURT TINTON FALLS, NJ NICKERSON, SCOTT A. & K	NIFER M 07712 RNS, KAITLI 07712 07712 Y 07712	N 35 PHOENIX COURT 36 PHOENIX COURT			2	14 BOISE COURT TINTON FALLS NJ ZEISER, OTTO D & RITA /	07712	15 BOISE COURT
2 2 2 2 2 2 2 2 2 2	TINTON FALLS, NJ LOMBARDI, CHRISTOPER &BU 35 PHOENIX COURT TINTON FALLS, NJ GEOGHAN, MELISSA 36 PHOENIX COURT TINTON FALLS, NJ LENTZ, ROBERT & KIMBERL 33 PHOENIX CT TINTON FALLS, NJ CRAWFORD, AMANDA 34 PHOENIX COURT TINTON FALLS, NJ MCCONNELL, MICHAEL D 55 PHOENIX COURT TINTON FALLS, NJ NICKERSON, SCOTT A. & K 56 PHOENIX COURT	ANS, KAITLI 07712 07712 Y 07712	36 PHOENIX COURT	124.51	248	2	15 BOISE COURT TINTON FALLS, NJ MILES, FRANK	07712	16 BOISE COURT
2 2 2 2 2 2 2	TINTON FALLS, NJ GEOGHAN, MELISSA 36 PHOENIX COURT TINTON FALLS, NJ LENTZ, ROBERT & KIMBERL 33 PHOENIX CT TINTON FALLS, NJ CRAWFORD, AMANDA 34 PHOENIX COURT TINTON FALLS, NJ MCCONNELL, MICHAEL D. 55 PHOENIX COURT TINTON FALLS, NJ NICKERSON, SCOTT A. & K	07712 07712 Y 07712	36 PHOENIX COURT		257	2	16 BOÍSE COURT TÍNTON FALLS, NJ	07712	9 NASHVILLE COURT
2 2 2 2 2	TINTON FALLS, NJ LENTZ, ROBERT & KIMBERL 33 PHOENIX CT TINTON FALLS, NJ CRAWFORD, AMANDA 34 PHOENIX COURT TINTON FALLS, NJ MCCONNELL, MICHAEL D 55 PHOENIX COURT TINTON FALLS, NJ NICKERSON, SCOTT A. & K 56 PHOENIX COURT	Y 07712	33 PHOENIX COURT	124.51	258	2	HJRO, GRACE 9 NASHVILLE COURT TINTON FALLS, NJ	07712	
2 2 2 2	33 PHOENIX CT TINTON FALLS, NJ CRAWFORD, AMANDA 34 PHOENIX COURT TINTON FALLS, NJ MCCONNELL, MICHAEL D. 55 PHOENIX COURT TINTON FALLS, NJ NICKERSON, SCOTT A. & K 56 PHOENIX COURT	07712					KENNEY, COLLEEN MARIE 84 WILLIAM STREET CARTERET, NJ	07008	10 NASHVILLE COURT
2 2 2	34 PHOENIX COURT TINTON FALLS, NJ MCCONNELL, MICHAEL D. 55 PHOENIX COURT TINTON FALLS, NJ NICKERSON, SCOTT A. & K 56 PHOENIX COURT A.	07712	34 PHOENIX COURT	124.51	259	2	11 NASHVILLE COURT TINTON FALLS, NJ	07712	11 NASHVILLE COURT
2 2 2	NICKERSON, SCOTT A. & K 56 PHOENIX COURT		55 PHOENIX COURT	124.51	260	2	POLICARI, MICHELLE 12 NASHVILLE COURT TINTON FALLS NJ	07712	12 NASHVILLE COURT
2	56 PHOENIX COURT	07712		124.51	261	2	MEZZATESTA, KERRI A BRA 13 NASHVILLE COURT TINTON FALLS, NJ	MBILLA & Pi 07712	IE 13 NASHVILLE COURT
2	TINTON FALLS, NJ	07712	56 PHOENIX COURT	124.51	262	2	MIECZKOWSKI, BRIAN W. 14 NASHVILLE COURT TINTON FALLS, NJ	07712	14 NASHVILLE COURT
	RUFFINO, DIANE 9 LAKESIDE AVENUE RUMSON, NJ	07760	53 PHOENIX COURT	124.51	263	2	HASTICK, KATHLEEN A 15 NASHVILLE CT TINTON FALLS, NJ	07712	15 NASHVILLE COURT
2	CATULLO, ROCCO & CARMEL 54 PHOENIX COURT TINTON FALLS, NJ	A 07712	54 PHOENIX COURT	124.51	264	2	BLACKMAN, MICHAEL L.& B 16 NASHVILLE COURT TINTON FALLS, NJ	0NN I E 07712	16 NASHVILLE COURT
	ZAYETS, VIKTORIYA 51 PHOÈNIX COURT TINTON FALLS, NJ	07712	51 PHOENIX COURT	124.51	265	2	PICHARDO, JOSE & CLARA 200 S LEXINGTON DR APT9 FOLSOM, CA		5 SANTA FE COURT
2	PUCZKO, HENRY & CAROL 52 PHOENIX COURT TINTON FALLS, NJ	07712	52 PHOENIX COURT	124.51	266	2	CORSON, JOSEPH G & DAWN 6 SANTA FE COURT TINTON FALLS, NJ		6 SANTA FE COURT
2	RICCI, LAVA 49 PHOENIX COURT TINTON FALLS, NJ	07712	49 PHOENIX COURT	124,51	267	2	SCARDIGNO, TYLER A 7 SANTA FÉ COURT		7 SANTA FE COURT
2	CLARKE, PAUL 50 PHOENIX COURT TINTON FALLS, NJ	07712	50 PHOENIX COURT	124.51	268	2	EFCHAK, AMY 4 WINDSOR DRIVE	07712	8 SANTA FE COURT
2	MARUKA, MARY JO 47 PHOENIX COURT TINTON FALLS, NJ	07712	47 PHOENIX COURT	124.51	269	2	EATONTOWN, NJ GORDON, WARREN & JANET 1 SANTA FE COURT	07724	1 SANTA FE COURT
2	AW, ABDOUL SYVA 48 PHOENIX COURT TINTON FALLS, NJ	07712	48 PHOENIX COURT	124.51	270	2	TINTON FALLS NJ VASTANO, JASON M 2 SANTA FE COURT	07712	2 SANTA FE COURT
2	WORMAN, CASSANDRA L 45 PHOENIX COURT		45 PHOENIX COURT	124.51	271	2	JANI, PRASYANT & TRIVED 9446 BECKER COURT	07712 , prital	3 SANTA FE COURT
2	TINTON FALLS, NJ TALIAN, SHARON J. 46 PHOENIX COURT TINTON FALLS, NJ	07712	46 PHOENIX COURT	124.51	272	2	ORLANDO, FL SAWICKI, EDWARD W.	32827	4 SANTA FE COURT
2	KARPINSKI, RICHARD % JOH 1 KELEIGH PLACE		43 PHOENIX COURT	124.51	273	2	4 SANTA FE COURT TINTON FALLS NJ	07712	9 SANTA FE COURT
2	OCEAN, NJ ABRAHAMSEN, JENNIFER I. 2_EAGLE_NEST ROAD	07712	44 PHOENIX COURT	124.51	274	2	ARROYO, DENISE 9 SANTA FE COURT TINTON FALLS, NJ MCINERNEY, BEVERLY	07712	10 SANTA FE COURT
2	2 EAGLE NEST HOAD COLTS NECK, NJ STOUT, ANANIAS & ALLEN 41 PHOENIX COURT	07722	41 PHOENIX COURT	124.51	274	2	MCINERNEY, BEVERLY 10 SANTA FE COURT TINTON FALLS NJ PACZKOWSKI, JOHN & BEATR	07712	10 SANTA FE COURT
2	TINTON FALLS, NJ ROCHE, BRIAN	07712	42 PHOENIX COURT	124.51			11 SANTA FE COURT TINTON FALLS, NJ	07712	
2	42 PHOENIX COURT TINTON FALLS, NJ MELNICHENKO, TATYANA	07712	61 PHOENIX COURT		276	2	PORCELLI, JAMES & ROBIN I 12 SANTA FE COURT #276 TINTON FALLS, NJ	07712	12 SANTA FE COURT
2	61 PHOENIX COURT TINTON FALLS, NJ	07712	59 PHOENIX COURT	124.51	277	2	ROSELLI, KATE T 13 SANTÀ FE COURT TINTON FALLS, NJ	07712	13 SANTA FE COURT
	COOK, JOREN C & MYORI A 59 PHOENIX COURT TINTON FALLS, NJ	07712		124.51	278	2	TERLECSKY, BARBARA 14 SANTA FE COURT TINTON FALLS NJ	07712	14 SANTA FE COURT
2	SIGISMONDI, THEODORE JR 16 BELFAST AVENUE HAZLET, NJ	07730	60 PHOENIX COURT	124.51	279	2	IRWIN, MIRA G 128 DANIELE DRIVE OCEAN, NJ	07712	15 SANTA FE COURT
2	KITSON, MARY & HOLSTEN, 57 PHOENIX COURT TINTON FALLS, NJ	HAROLD 07712	57 PHOENIX COURT	124.51	280	2	GALIFI, ROY 16 SANTA FE COURT TINTON FALLS, NJ	07712	16 SANTA FE COURT
2	SMITH, KIRK H & SONIA 58 PHOENIX COURT TINTON FALLS, NJ	07712	58 PHOENIX COURT	124.51	281	2	DEWYSOCKI BARBARA & CHIN 57 JONATHAN DRIVE		5 LINCOLN COURT
2	BOLAND, SEAN 31 DOVER COURT TINTON FALLS, NJ	07712	31 DOVER COURT	124.51	282	2	AARON, JACQUELINE 6 LINCOLN COURT		6 LINCOLN COURT
2	KIMBLE, RICKEY & ROBIN PO BOX 274 SHAWNEE ON DELAWARE, PA	18356	32 DOVER COURT	124.51	283	2	KIRCHNER, KERRI L 7 LINCOLN COURT		7 LINCOLN COURT
2	MARCINKIEWICZ, TERESA 29 DOVER COURT TINTON FALLS, NJ	07712	29 DOVER COURT	124.51	284	2	WALECK, DONALD 8 LINCOLN COURT	07712	8 LINCOLN COURT
2	GOULD, DANIEL V 30 DOVER COURT TINTON FALLS, NJ		30 DOVER COURT	124.51	285	2	TINTON FALLS, NJ DE LORETO,VICTORIA LYNN 1 LINCOLN COURT	07712	1 LINCOLN COURT
2	PORACKY, KAITLIN 27 DOVER COURT	07712	27 DOVER COURT	124.51	286	2	TINTON FALLS, NJ HILL, YUIM K.	07712	2 LINCOLN COURT
2	TINTON FALLS, NJ ABRAMS, JENELLE 15 MONMOUTH ROAD	07712	28 DOVER COURT	124.51	287	2	LAPIANA, KATHY M	07712	3 LINCOLN COURT
2	OCEANPORT, NJ DAVIS, LISA 39 DOVER COURT	07757	39 DOVER COURT	124.51	288	2		07712 NIGHT-	4 LINCOLN COURT
2	TINTON FALLS, NJ TUTONE, HEATHER L & VAIO 40 DOVER COURT	07712 IS, IDANNIS	40 DOVER COURT	124.51	1001	1			OFF HERITAGE BLVD.
2	TINTON FALLS, NJ BELLINO. JOHN	07712	37 DOVER COURT	124.51	1002	150		07013	
2	37 DOVER COURT TINTON FALLS, NJ ARCANGELO, ASHLEY & WEAV 38 DOVER COURT	07712 ER, WILLIAM	38 DOVER COURT	124.51	1003	150)7724	OFF ANNAPOLIS STREET
2	TINTON FALLS, NJ CRITELLI, THOMAS & DANIE	07712	35 DOVER COURT			* 1	PARK PLACE II CONDO ASSO 1030 CLIFTON AVENUE CLIFTON, NJ	07013	OFF ANNAPOLIS STREET
2	35 DOVER COURT TINTON FALLS, NJ	07712	36 DOVER COURT	124.51	1004	1	PARK PLACE II CONDO ASSO 1030 CLIFTON AVENUE CLIFTON, NJ	00%CSG 07013	OFF ANNAPOLIS STREET
	BEVERLY, BRETT 36 DOVER COURT TINTON FALLS, NJ CHEN, CHIEN HUNG	07712		124.63	29.01	150	556 TINTON AVENUE TINTON FALLS, NJ	07724	SHAFTO ROAD
2	CHEN, CHIEN HUNG 33 DOVER COURT TINTON FALLS, NJ	07712	33 DOVER COURT	124.63	30	15F	AMERICAN NATIONAL RED CF 1540 WEST PARK AVENUE TINTON FALLS, NJ	0SS 07712	1540 WEST PARK AVENUE
2	PERROTTA, JOHN 34 DOVER COURT TINTON FALLS, NJ	07712	34 DOVER COURT	124.63	30.01	1	TF PROPERTIES,LLC C/O R PO BOX 353 DEAL, NJ	KELLY, LLC 07723	1530 WEST PARK AVENUE
2	MAHONEY, JAMES F & DORIS 55 DOVER COURT TINTON FALLS, NJ	J 07712	55 DOVER COURT	124.63	31.01	2	REEVEY, HOSEA JR. & CECI 1524 WEST PARK AVENUE TINTON FALLS, NJ		1524 WEST PARK AVENUE
2	SAVOCA, DEREK MICHAEL 56 DOVER COURT TINTON FALLS, NJ	07712	56 DOVER COURT	124.63	34.01	2	REEVEY, DONALD SR & EVA 1526 WEST PARK AVENUE	М	1526 WEST PARK AVENUE
2	CLEMENZA, ROBERT M 53 DOVER COURT TINTON FALLS, NJ	07712	53 DOVER COURT	124.63	35.01	2	TINTON FALLS, NJ REEVEY, DANIEL 39 WILLIAMS STREET	07712	1520 WEST PARK AVENUE
2	WRIGHT, MELISSA 54 DOVER COURT TINTON FALLS, NJ	07712	54 DOVER COURT				TINTON FALLS, NJ	07724	
2	KURUCZ, LISA 51 DOVER COURT TINTON FALLS, NJ	07712	51 DOVER COURT		of Colts Neck	Gard	Jersey Turnpike Authority en State Parkway Division	SEWER A	UTHORITIES
2	CORSALE, JOHN F 52 DOVER COURT		52 DOVER COURT	124 Cedar		PO B Wood	ox 5042 dbridge, NJ 07095	Secretary Eatontown 47 Broad S	Sewerage Authority treet
2	TINTON FALLS, NJ LOUTH, BRIAN B JR 25 MAPLE STREAM ROAD	07712	49 DOVER COURT	Municipal Borough o 47 Broad S	of Eatontown	Hall (mouth County Planning Board of Records Annex, 2 nd Floor East Main Street	Eatontown,	
2	EAST WINDSOR, NJ ABRILLA, MELODY A 50 DOVER COURT	08520	50 DOVER COURT	Eatontown	n, NJ 07724	Freeh	nold, NJ 07728	Auth.	of Neptune Sewerage
2	TINTON FALLS, NJ KUBAS, LAUREN & MICHAEL 47 DOVER COURT	07712	47 DOVER COURT	One Kings	of Middletown Highway	Hight 250 (Center Street	PO Box 765 Neptune, N	
2	47 DOVER COURT TINTON FALLS, NJ DEBARROS, MARCO & MARIA 48 DOVER COURT	07712 EUGENIA	48 DOVER COURT	Municipal		Ft. M	hold, NJ 07728	Authority	nship Sewerage
2	CAFARO, JOANNA	07712	45 DOVER COURT	25 Neptun	of Neptune ne Blvd. NJ 07754-1125	P. O.	alization Authority Box 267 Inport, NJ 07757		velt Avenue NJ 07755-1591
2	2 SHORÉBROOK CIRCLE NEPTUNE, NJ GRECA, NOAMI	07753	46 DOVER COURT	Municipal Township	Clerk of Ocean	Ft. M Revit	lonmouth Economic alization Authority	Authority	Water Reclamation
	46 DOVER COURT TINTON FALLS, NJ	07712		399 Monm Ocean, NJ	nouth Avenue 07755	502 1	Brewer Avenue Inport, NJ 07757	(Formerly I Monmouth One Highla	nd Avenue
	KLIGGE, LISA J. 1566 OCEAN AVENUE UNIT B SEA BRIGHT, NJ	07760	43 DOVER COURT	Municipal (Borough o 90 Monmo	of Red Bank		ence Fary		Beach, NJ 07750
	GALLAGHER, CAROLYN ANN 44 DOVER COURT TINTON FALLS, NJ	07712	44 DOVER COURT		NJ 07701	Monr Come	mouth County System cast Cable Communications	MAND	
2	COLATRELLA, RANDI 41 DOVER COURT TINTON FALLS, NJ	07712	41 DOVER COURT	Borough o PO Box 74	of Shrewsbury 120	Brick	Brick Blvd. , NJ 08723	Borough Cl	
2	KANTROWITZ, KARL 130 EAST CÉDAR STREET LIVINGSTON, NJ	07039	42 DOVER COURT	Municipal (New 1415	orate Secretary Jersey Resources Corp. Wyckoff Road	556 Tinton	Tinton Falls Avenue s, NJ 07724
2	BURKE, JOHN J JR 5 BOISE COURT TINTON FALLS, NJ	07712	5 BOISE COURT	Shrewsbur 1979 Craw	ry Township vford Street	Wall, Donr	NJ 07719 na Short, GIS Supervisor		
2			6 BOISE COURT	Municipal (Clerk	New 1025	Jersey-American Water Co. Laurel Oak Rd.		
			7 BOISE COURT	2700 Allair	re Road	Corp	orate Secretary		
2	LIGUORI DANIEL	07712	8 BOISE COURT	One Penn	Plaza East	300 1	Madison Avenue & Punchbowl		
		07076 D	1 BOISE COURT	ATTN: FRA	ANK VACCA	9 Ga	tes Avenue		
	SHREWSBURY, NJ	07702		Dept. of Tr 1035 Parky	ransportation way Avenue				
		07712		Ewing, NJ	08018	1	8		
	2 2 2 2 2 2 2 2	 2 BURKE, JOHN J JR 5 BOISE COURT TINTON FALLS, NJ 2 MURPHY, STEVEN 6 BOISE COURT TINTON FALLS, NJ 2 GREEN, WARREN 7 BOISE COURT TINTON FALLS, NJ 2 LIGUORI, DANIEL 7 BRANDYWINE COURT SCOTCH PLAINS, NJ 2 LANIGAN J & BEVACQUA, M & 43 HENRY STREET SHREWSBURY, NJ 2 JOHNSON, NANCY J C/O JEAN 2 BOISE COURT TINTON FALLS, NJ 2 GEORGE, HEATHER 2011 OAKHURST PKWY 	2 BURKE, JOHN J JR 5 5 BOISE COURT TINTON FALLS, NJ 07712 2 MURPHY, STEVEN 6 001SE COURT TINTON FALLS, NJ 07712 2 GREEN, WARREN 7 01SE COURT TINTON FALLS, NJ 07712 2 LGUORI, DANIEL 7 07N1E 07076 2 LANIGAN, J & BEVACOUA, M & D 43 07702 2 JOHNSON, NANCY J C/O JEAN JOHNSON 2 077012 2 JOHNSON, NANCY J C/O JEAN JOHNSON 2 07712 2 GEORGE, HEATHER 2011 OAKHURST PKWY OAKHURST, NJ 07755	2 BURKE, JOHN J JR 5 BOISE COURT 5 BOISE COURT 07712 0 2 MURPHY, STEVEN 6 BOISE COURT 6 BOISE COURT 07712 0 2 GREEN, WARREN 7 BOISE COURT 7 BOISE COURT 7 BOISE COURT 7 BANDYWINE COURT 8 BOISE COURT 7 SCOTCH PLAINS, NJ 07076 07076 2 LANIGAN, J & BEVACUA,M & D 1 BOISE COURT 43 HENRY STREET SHOENSE COURT 2 90HNSON, NANCY J C/O JEAN JOHNSON 2 BOISE COURT 2 JOHNSON, FALLS, NJ 07712 001SE COURT	2 BURKE, JOHN J JR 5 BOISE COURT 1979 Crav 5 BOISE COURT 1979 Crav Shrewsbu 2 MURPHY, STEVEN 6 BOISE COURT Municipal 2 MURPHY, STEVEN 6 BOISE COURT Municipal 2 GREEN, WARREN 7 BOISE COURT Wall, NJ 2 GREEN, WARREN 7 BOISE COURT Wall, NJ 7 BOISE COURT 07712 New Jerse 2 LIGUORI, DANIEL 8 BOISE COURT One Penn 7 SCOTCH PLAINS, NJ 07076 ATTN: FR. 2 2 LANIGA, J & BEVACOUA, M & D 1 BOISE COURT The Comm 3 HEWSBURY, NJ 07702 Dept. of T 1035 Park 2 JOHNSON, NANCY J C/O JEAN JOHNSON 2 BOISE COURT 1035 Park 2 GORGE, HEATHER 3 BOISE COURT Ewing, NJ 2 GORGE, HEATHER 3 BOISE COURT Ewing, NJ 2 GORGE, HEATHER 3 BOISE COURT Ewing, NJ 2	2 BURKE, JOHN J JR 5 BOISE COURT Shrewsbury Township 2 Solise court 1979 Crawford Street Shrewsbury Township 2 MURPHY, STEVEN 6 BOISE COURT Municipal Clerk 6 BOISE COURT 7 BOISE COURT Municipal Clerk 1 TINTON FALLS, NJ 07712 Valiare Road 2 GREEN, WARREN 7 BOISE COURT Wall, NJ 07719 7 BOISE COURT 7 BOISE COURT New Jersey Transit 2 LIGUORI, DANIEL 8 BOISE COURT New Jersey Transit 2 LIGUORI, DANIEL 8 BOISE COURT Newark, NJ 07105 2 LIGUORI, DANIEL 8 BOISE COURT Newark, NJ 07105 2 LANIGAN, J & BEVACOUA, M & D 1 BOISE COURT The Commissioner 2 JOHNSON, NANCY J C/O JEAN JOHNSON 2 BOISE COURT 1035 Parkway Avenue 2 JOHNSON, FALLS, NJ 07712 The Commissioner Dept. of Transportation 2 JOHNSON, NANCY J C/O JEAN JOHNSON 2 BOISE COURT 1035 Parkway Avenue	2 BURKE, JOHN J JR 5 BOISE COURT Shrewsbury Township Wall, 2 BURKE, OURT 1979 Crawford Street Shrewsbury Twp., NJ 07724 Donr 2 MURPHY, STEVEN 6 BOISE COURT Municipal Clerk 1027 2 MURPHY, STEVEN 6 BOISE COURT Municipal Clerk 1027 2 GREEN, WARREN 7 BOISE COURT Wall, NJ 07719 Corp 2 GREEN, WARREN 7 BOISE COURT Wall, NJ 07719 Corp 2 L LGUORI, DANIEL 8 BOISE COURT New Jersey Transit 3001 2 L LGUORI, DANIEL 8 BOISE COURT Newark, NJ 07105 Morr 2 LANIGAN, J & BEVACQUA, M & D 1 BOISE COURT Newark, NJ 07105 Veriz 2 LANIGAN, J & BEVACQUA, M & D 1 BOISE COURT The Commissioner Mont 2 JOHNSON, NANCY J C/O JEAN JOHNSON 2 BOISE COURT 1035 Parkway Avenue 2 2 JOHNSON, FALLS, NJ 07712 2 BOISE COURT Mont 2	2 BURKE, JOHN J JR 5 BOISE COURT 1979 Crawford Street Wall, NJ 07719 2 MURPHY, STEVEN 6 BOISE COURT 1979 Crawford Street Donna Short, GIS Supervisor 2 MURPHY, STEVEN 6 BOISE COURT Municipal Clerk Township New Jersey-American Water Co. 2 MURPHY, STEVEN 6 BOISE COURT Municipal Clerk Township of Wall Voorhead 2 GREEN, WARREN 7 BOISE COURT 7 BOISE COURT Wall, NJ 07719 Corporate Secretary GPU Energy 2 LIGUORI, DANIEL 8 BOISE COURT New Jersey Transit Oon Addison Avenue & Punchbowl 2 LIGUORI, DANIEL 8 BOISE COURT New Jersey Transit Oon Penn Plaza East Morristown, NJ 07960 2 LANIGAN, J & BEVACOUA, M & D 1 BOISE COURT The Commissioner Verizon of New Jersey 9 Gates Avenue 2 JOHNSON, NANCY J C/O JEAN JOHNSON 2 BOISE COURT 1035 Parkway Avenue Montclair, NJ 07042-3301 2 JOHNSON, FALLS, NJ 07712 The Commissioner Dept. of Transportation Nortclair, NJ 07042-3301	2 BURKE, JOHN J JR 5 BOISE COURT 1979 Crawford Street Wall, NJ 07719 2 MURPHY, STEVEN 6 BOISE COURT Shrewsbury Twp., NJ 07724 Dona Short, GIS Supervisor 2 MURPHY, STEVEN 6 BOISE COURT Municipal Clerk Township of Wall Voorhees, NJ 08043 2 GREEN, WARREN 7 BOISE COURT Wall, NJ 07719 Dona Short, GIS Supervisor 2 GREEN, WARREN 7 BOISE COURT Wall, NJ 07719 Ororhoes, NJ 08043 2 GREEN, WARREN 7 BOISE COURT Wall, NJ 07719 Corporate Secretary GPU Energy 2 LIGUORI, DANIEL 8 BOISE COURT New Jersey Transit 300 Madison Avenue & Punchbowl 2 LIGUORI, DANIEL 8 BOISE COURT New Jersey Transit Yoristown, NJ 07960 2 LANIGAN, J& BEVACDUA, M & D 1 BOISE COURT The Commissioner Dept. of Transportation 2 JOHNSON, NANCY J C/O JEAN JOHNSON 2 BOISE COURT 1035 Parkway Avenue Montclair, NJ 07042-3301 2 GEORE, HEATHER 3 BOISE COURT 1035 Parkway Avenue

INDEX OF SHEETS

	SHT. No.	DESCRIPTION	LATEST REVISION
	1	COVER SHEET	7/30/2020
	2	EXISTING CONDITIONS PLAN	7/30/2020
	3	OVERALL DIMENSION PLAN	7/30/2020
	4	DIMENSION PLAN	7/30/2020
	5	GRADING PLAN	7/30/2020
	6	UTILITY PLAN	7/30/2020
JCAS	7	SOIL EROSION AND SEDIMENT CONTROL PLAN	7/30/2020
By: TLUCAS	8	SOIL EROSION AND SEDIMENT CONTROL DETAILS	7/30/2020
HEET	9	SOIL MANAGEMENT & PREPARATION PLAN	7/30/2020
2018/18006673A\Engineering\Site Plans\C-CVER.dwg\C-001-COVER SHEET	10	LANDSCAPE PLAN & DETAILS	7/30/2020
wg\C-001.	11	LIGHTING PLAN & DETAILS	7/30/2020
C-CVER.d	12	CONSTRUCTION DETAILS	7/30/2020
Site Plans/	13	CONSTRUCTION DETAILS	7/30/2020
gineering∖'	14	CONSTRUCTION DETAILS	7/30/2020
06673A\En	15	CONSTRUCTION DETAILS	7/30/2020
2018/1800	16	CONSTRUCTION DETAILS	7/30/2020



PPLICANT:SENIOR HOUSING DEVELOPMEN 100 JERICHO QUADRANGLE, SU JERICHO, NY 11753 516-496-1505 APPLICANT Benjamin Wells,

APPROVED BY THE PLANNING BOARD REGULAR MEETING OF ____

CHAIRMAN SECRETARY

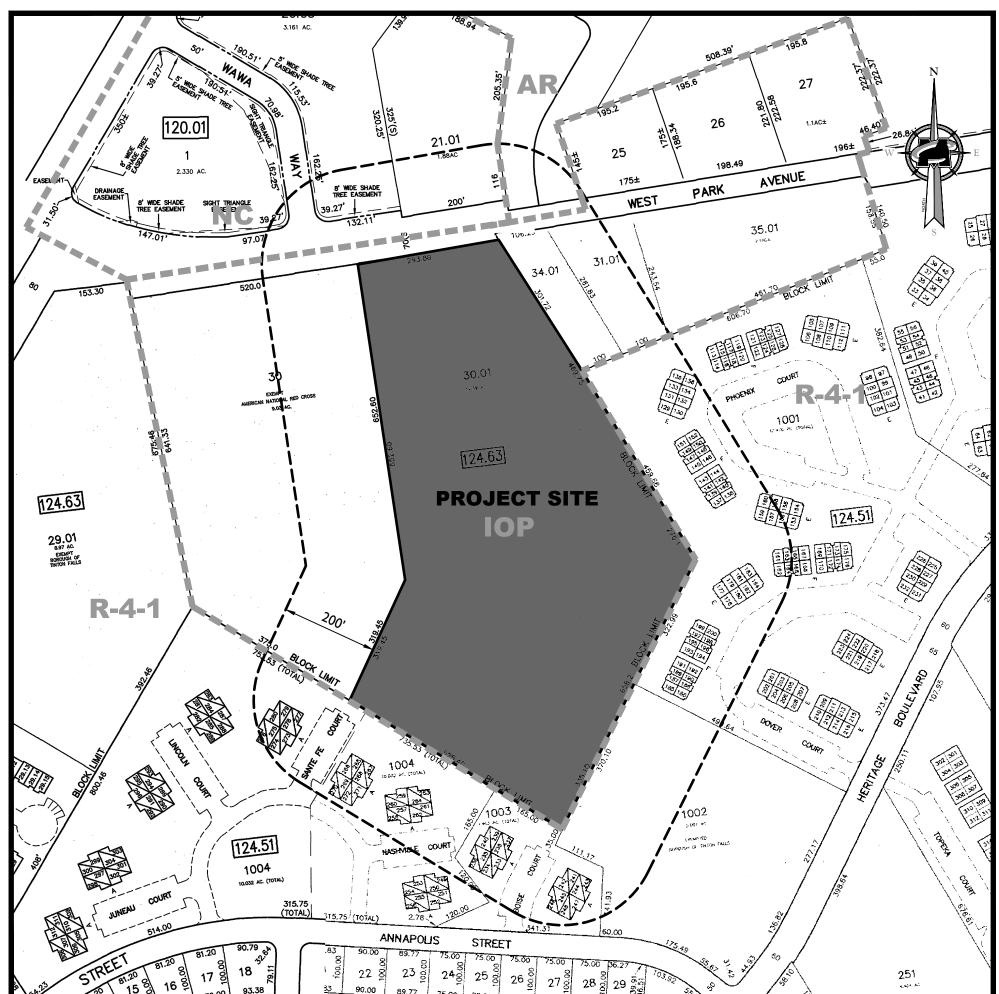
PLANNING BOARD ENGINEER

I HEREBY CERTIFY THAT A PERFORMA SITE IMPROVEMENTS AS APPROVED.

BOROUGH CLERK

PRELIMINARY AND FINAL MAJOR SITE PLANS FOR ALL AMERICAN ASSISTED LIVING OF **TINTON FALLS** BLOCK 124.63, LOT 30.01

1530 WEST PARK AVENUE BOROUGH OF TINTON FALLS MONMOUTH COUNTY, NEW JERSEY



KEY & ZONING MAP

,	
	July 30, 2020
an, Member	DATE
ENT, LLC	
UITE 142	
	July 30, 2020
President B/D	DATE
RD OF THE BOROUGH OF TINTON FA	LLS AT THE
	DATE
	DATE
	DATE
IANCE GUARANTEE HAS BEEN POSTED	FOR THE
	DATE
	_

SCALE : 1" = 200' **BOROUGH OF TINTON FALLS** RESIDENTIAL AGRICULTURE AR R-4-1 RESIDENTIAL

IOP INDUSTRIAL OFFICE PARK

SHEET 11 OF 16.

- REVIEW AND RELEASE FOR CONSTRUCTION.
- BOROUGH CONSULTING ENGINEER.
- COMMENCEMENT OF CONSTRUCTION.
- AGENCIES AS REQUIRED.

THE SUBJECT PROPERTY IS KNOWN AS LOT 30.01 IN BLOCK 124.63 AS SHOWN ON SHEET 60 OI THE OFFICIAL TAX MAP OF THE BOROUGH OF TINTON FALLS. MONMOUTH COUNTY, NEW JERSEY DATED DECEMBER, 2005 AND REVISED THROUGH OCTOBER, 2007. . THE PROPERTY IS LOCATED AT 1530 WEST PARK AVENUE, TINTON FALLS, NJ 07712 IN THE INDUSTRIAL OFFICE PARK ZONE DISTRICT AND CONTAINS A TOTAL TRACT AREA OF 539.546 SF. 12.38 ACRES TINTON FALLS PROPERTIES, LL 2317 HIGHWAY 34 SUITE BB MANASQUAN, NEW JERSEY 08736

APPLICANT: SENIOR HOUSING DEVELOPMENT, LL 100 JERICHO QUADRANGLE, SUITE 142 IERICHO, NY 11753

RESIDENTIAL USES TO THE SOUTH AND EAST. THE SITE GENERALLY SLOPES TOWARDS THE SOUTHEAST AND IS CURRENTLY WOODED AND VACANT. THE APPLICANT PROPOSES TO CONSTRUCT A TWO-STORY ASSISTED LIVING FACILITY CONSISTING OF A TOTAL OF 112 BEDS COMPRISED OF (4) AMENITIES AS WELL AS TYPICAL APPURTENANT SITE IMPROVEMENTS FOR THIS PROPOSED USE. INGRESS AND EGRESS FROM THE SITE WILL BE PROVIDED VIA A 40 FT WIDE COMMON ACCESS MAIN DRIVEWAY EASEMENT LOCATED AND EXTENDED ALONG THE SOUTHWESTERLY PROPERTY LINE BETWEEN LOTS 30 AND 30.01. THE INSTITUTIONAL USE AND OCCUPANCY OF AN ASSISTED LIVING RESIDENCE IS LICENSED BY THE NEW JERSEY DEPARTMENT OF HEALTH AND SENIOR SERVICES PURSUANT TO N.J.A.C 8:36. AN APPLICATION FOR THE ISSUANCE OF THE CERTIFICATE OF NEED FOR THIS PROJECT HAS BEEN SUBMITTED AND HAS BEEN ASSIGNED #ER060501-1537.

732-800-4555

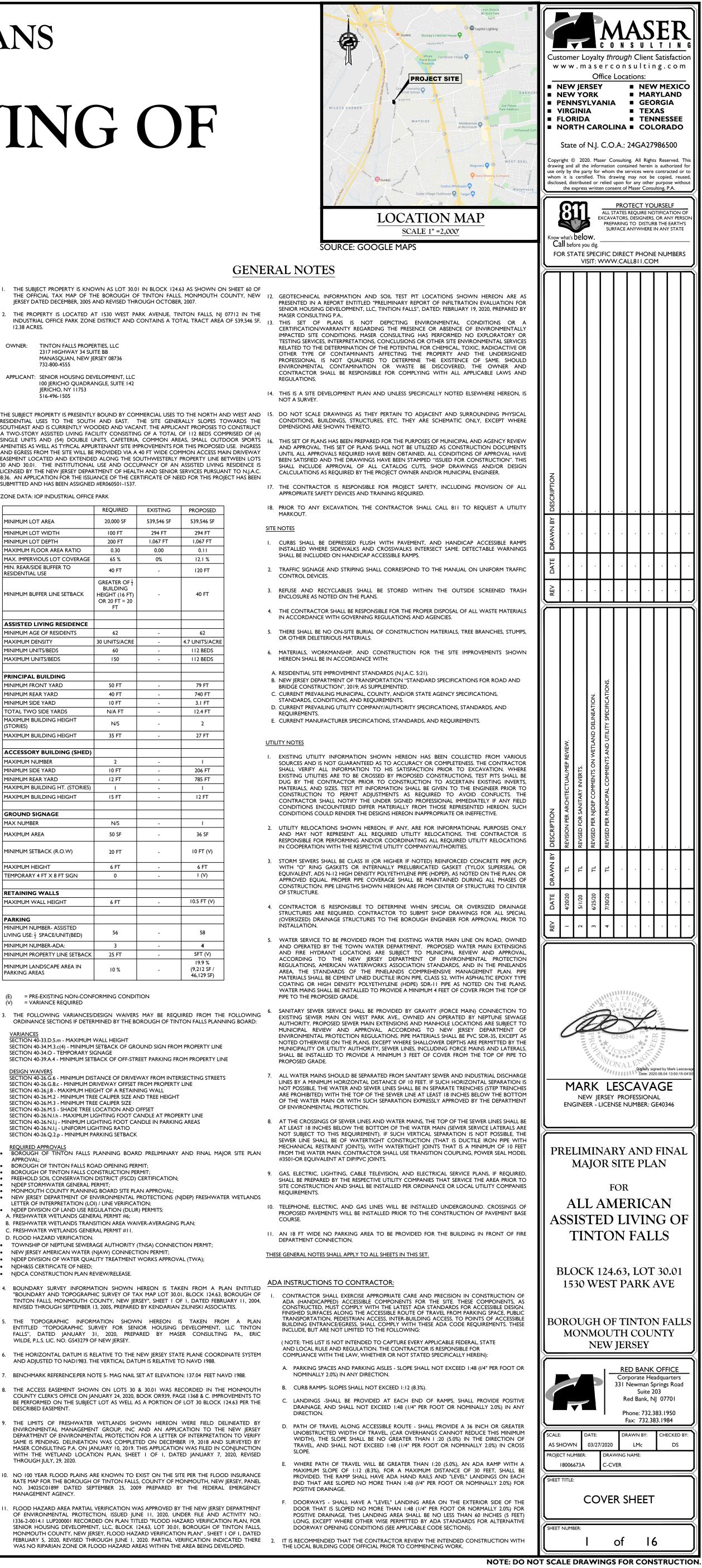
516-496-1505

	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	20,000 SF	539,546 SF	539,546 SF
MINIMUM LOT WIDTH	100 FT	294 FT	294 FT
MINIMUM LOT DEPTH	200 FT	1,067 FT	I,067 FT
MAXIMUM FLOOR AREA RATIO	0.30	0.00	0.11
MAX. IMPERVIOUS LOT COVERAGE	65 %	0%	12.1 %
MIN. REAR/SIDE BUFFER TO RESIDENTIAL USE	40 FT	-	120 FT
MINIMUM BUFFER LINE SETBACK	GREATER OF $\frac{1}{2}$ BUILDING HEIGHT (16 FT) OR 20 FT = 20 FT	-	40 FT
ASSISTED LIVING RESIDENCE			
MINIMUM AGE OF RESIDENTS	62	-	62
MAXIMUM DENSITY	30 UNITS/ACRE	-	4.7 UNITS/ACRE
	60	-	112 BEDS
MAXIMUM UNITS/BEDS	150	-	112 BEDS
PRINCIPAL BUILDING			
MINIMUM FRONT YARD	50 FT	-	79 FT
MINIMUM REAR YARD	40 FT	-	740 FT
MINIMUM SIDE YARD	10 FT	-	3.1 FT
TOTAL TWO SIDE YARDS	N/A FT	-	12.4 FT
MAXIMUM BUILDING HEIGHT (STORIES)	N/S	-	2
MAXIMUM BUILDING HEIGHT	35 FT	-	27 FT
ACCESSORY BUILDING (SHED)			
MAXIMUM NUMBER	2	-	1
MINIMUM SIDE YARD	10 FT	-	206 FT
MINIMUM REAR YARD	12 FT	-	785 FT
MAXIMUM BUILDING HT. (STORIES)	1	-	1
MAXIMUM BUILDING HEIGHT	I5 FT	-	I2 FT
GROUND SIGNAGE			
MAX NUMBER	N/S		
	50 SF	-	36 SF
	50 SF	-	30 SF
MINIMUM SETBACK (R.O.W)	20 FT	-	10 FT (V)
MAXIMUM HEIGHT	6 FT	-	6 FT
TEMPORARY 4 FT X 8 FT SIGN	0	-	1 (V)
MAXIMUM WALL HEIGHT	6 FT	-	10.5 FT (V)
PARKING			
MINIMUM NUMBER- ASSISTED			
LIVING USE: $\frac{1}{2}$ SPACE/UNIT(BED)	56	-	58
MINIMUM NUMBER-ADA:	3	-	4
MINIMUM PROPERTY LINE SETBACK	25 FT	-	5FT (V)
			19.9 %

(E) = PRE-EXISTING NON-CONFORMING CONDITION = VARIANCE REQUIRED

3. THE FOLLOWING VARIANCES/DESIGN WAIVERS MAY BE REOUIRED FROM THE FOLLOWING ORDINANCE SECTIONS IF DETERMINED BY THE BOROUGH OF TINTON FALLS PLANNING BOARD:

- SECTION 40-33.D.5.m MAXIMUM WALL HEIGHT SECTION 40-34.M.3.c(4) - MINIMUM SETBACK OF GROUND SIGN FROM PROPERTY LINE SECTION 40-34 O - TEMPORARY SIGNAGE SECTION 40-39.A.4 - MINIMUM SETBACK OF OFF-STREET PARKING FROM PROPERTY LINE
- ECTION 40-26.G.6 MINIMUM DISTANCE OF DRIVEWAY FROM INTERSECTING STREETS
- SECTION 40-26.1.8 MAXIMUM HEIGHT OF A RETAINING WALL SECTION 40-26.M.2 - MINIMUM TREE CALIPER SIZE AND TREE HEIGH SECTION 40-26.M.3 - MINIMUM TREE CALIPER SIZE
- SECTION 40-26.M.5 SHADE TREE LOCATION AND OFFSET SECTION 40-26.N.I.h - MAXIMUM LIGHTING FOOT CANDLE AT PROPERTY LINE SECTION 40-26 N Li - MINIMUM LIGHTING FOOT CANDLE IN PARKING AREAS
- SECTION 40-26.Q.2.p MINIMUM PARKING SETBACK
- APPROVAL:
- FREEHOLD SOIL CONSERVATION DISTRICT (FSCD) CERTIFICATION;
- LETTER OF INTERPRETATION (LOI) / LINE VERIFICATION;
- B. FRESHWATER WETLANDS TRANSITION AREA WAIVER-AVERAGING PLAN; C. FRESHWATER WETLANDS GENERAL PERMIT #11.
- TOWNSHIP OF NEPTUNE SEWERAGE AUTHORITY (TNSA) CONNECTION PERMIT; NEW JERSEY AMERICAN WATER (NJAW) CONNECTION PERMIT;
- NIDH&SS CERTIFICATE OF NEED:
- . BOUNDARY SURVEY INFORMATION SHOWN HEREON IS TAKEN FROM A PLAN ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY OF TAX MAP LOT 30.01, BLOCK 124.63, BOROUGH OF TINTON FALLS, MONMOUTH COUNTY, NEW JERSEY", SHEET I OF I, DATED FEBRUARY II, 2004 REVISED THROUGH SEPTEMBER 13, 2005, PREPARED BY KENDARIAN ZILINISKI ASSOCIATES.
- ENTITLED "TOPOGRAPHIC SURVEY FOR SENIOR HOUSING DEVELOPMENT, LLC TINTON FALLS", DATED JANUARY 31, 2020, PREPARED BY MASER CONSULTING PA., ERIC WILDE, P.L.S. LIC. NO. GS43279 OF NEW JERSEY.
- AND ADJUSTED TO NAD1983. THE VERTICAL DATUM IS RELATIVE TO NAVD 1988.
- THE ACCESS FASEMENT SHOWN ON LOTS 30 & 3001 WAS RECORDED IN THE MONMOUTH COUNTY CLERK'S OFFICE ON JANUARY 24, 2020, BOOK OR939, PAGE 1368 & C. IMPROVEMENTS TO BE PERFORMED ON THE SUBJECT LOT AS WELL AS A PORTION OF LOT 30 BLOCK 124.63 PER THE DESCRIBED EASEMEN
- THE LIMITS OF FRESHWATER WETLANDS SHOWN HEREON WERE FIELD DELINEATED BY ENVIRONMENTAL MANAGEMENT GROUP. INC AND AN APPLICATION TO THE NEW IERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION FOR A LETTER OF INTERPRETATION TO VERIFY SAME IS PENDING. DELINEATION WAS COMPLETED ON DECEMBER 19, 2018 AND SURVEYED BY MASER CONSULTING P.A. ON JANUARY 10, 2019. THIS APPLICATION WAS FILED IN CONJUNCTION WITH THE WETLAND LOCATION PLAN, SHEET I OF I, DATED JANUARY 7, 2020, REVISED THROUGH IULY, 29, 2020.
- 10. NO 100 YEAR FLOOD PLAINS ARE KNOWN TO EXIST ON THE SITE PER THE FLOOD INSURANCE RATE MAP FOR THE BOROUGH OF TINTON FALLS, COUNTY OF MONMOUTH, NEW IERSEY, PANEL NO. 34025C0189F DATED SEPTEMBER 25, 2009 PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
- 11. FLOOD HAZARD AREA PARTIAL VERIFICATION WAS APPROVED BY THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION, ISSUED JUNE 11, 2020, UNDER FILE AND ACTIVITY NO.: 1336-2-0014.1 LUP200001 RECORDED ON PLAN TITLED "FLOOD HAZARD VERIFICATION PLAN, FOR SENIOR HOUSING DEVELOPMENT, LLC, BLOCK 124.63, LOT 30.01, BOROUGH OF TINTON FALLS, MONMOUTH COUNTY, NEW JERSEY, FLOOD HAZARD VERIFICATION PLAN", SHEET I OF I, DATEE FEBRUARY 5, 2020, REVISED THROUGH JUNE I, 2020. PARTIAL VERIFICATION INDICATED THERE WAS NO RIPARIAN ZONE OR FLOOD HAZARD AREAS WITHIN THE AREA BEING DEVELOPED.



GENERAL NOTES

REGULATIONS

12.	GEOTECHNICAL INFORMATION AND SOIL TEST PIT LOCATIONS SHOWN PRESENTED IN A REPORT ENTITLED "PRELIMINARY REPORT OF INFILTRATION SENIOR HOUSING DEVELOPMENT, LLC, TINTION FALLS", DATED: FEBRUARY 19, 2 MASER CONSULTING P.A
13.	THIS SET OF PLANS IS NOT DEPICTING ENVIRONMENTAL CON
	CERTIFICATION/WARRANTY REGARDING THE PRESENCE OR ABSENCE OF EN
	IMPACTED SITE CONDITIONS. MASER CONSULTING HAS PERFORMED NO E
	TESTING SERVICES, INTERPRETATIONS, CONCLUSIONS OR OTHER SITE ENVIRON
	RELATED TO THE DETERMINATION OF THE POTENTIAL FOR CHEMICAL. TOXIC.
	OTHER TYPE OF CONTAMINANTS AFFECTING THE PROPERTY AND TH
	PROFESSIONAL IS NOT OUALIFIED TO DETERMINE THE EXISTENCE OF
	ENVIRONMENTAL CONTAMINATION OR WASTE BE DISCOVERED, THI
	CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLIC

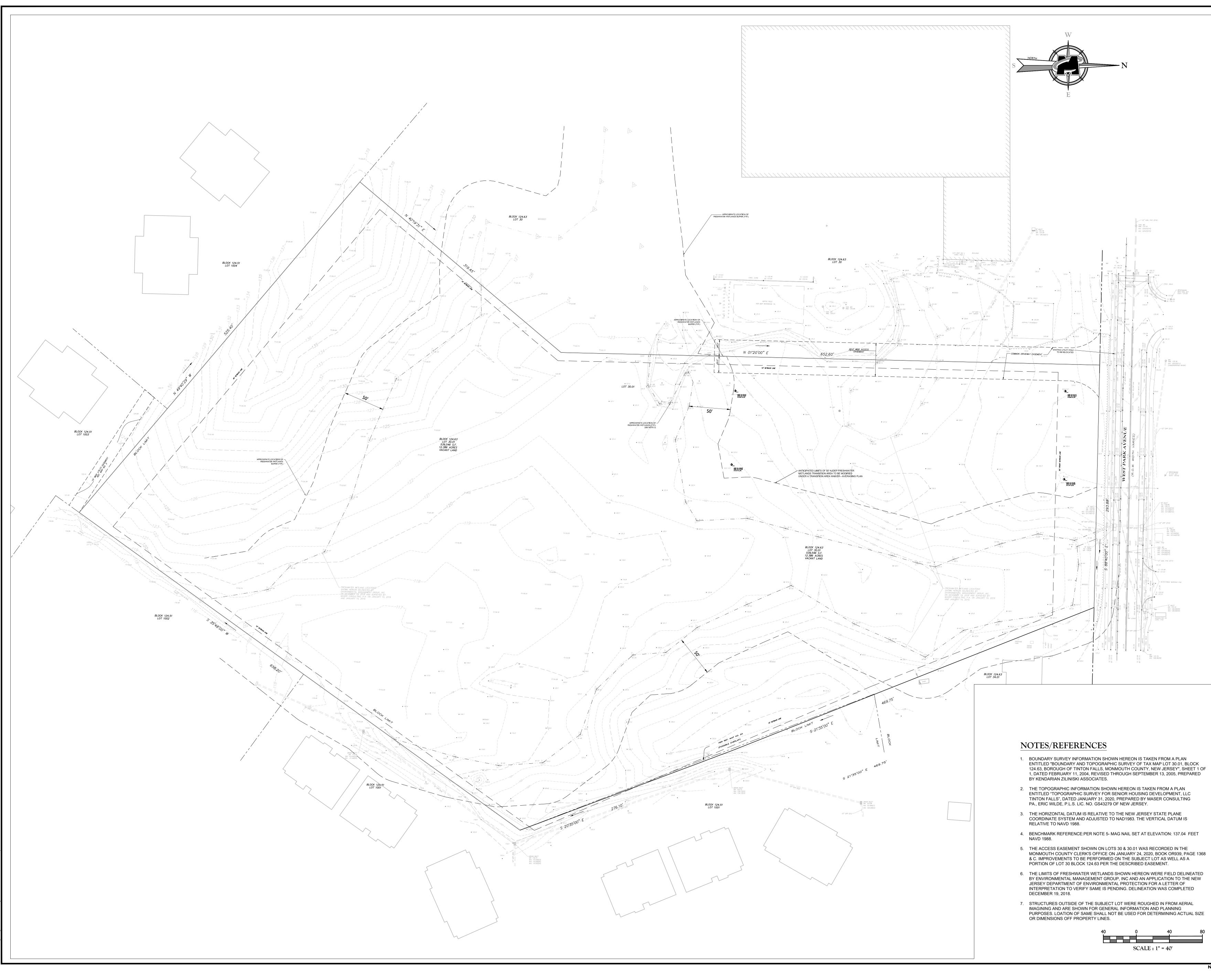
- 14. THIS IS A SITE DEVELOPMENT PLAN AND UNLESS SPECIFICALLY NOTED ELSEWHERE HEREON, IS
- MENSIONS ARE SHOWN THERETO SINGLE UNITS AND (54) DOUBLE UNITS, CAFETERIA, COMMON AREAS, SMALL OUTDOOR SPORTS 16. THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY REVIEW
 - UNTIL ALL APPROVALS REQUIRED HAVE BEEN OBTAINED, ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED AND THE DRAWINGS HAVE BEEN STAMPED "ISSUED FOR CONSTRUCTION". THIS CALCULATIONS AS REQUIRED BY THE PROJECT OWNER AND/OR MUNICIPAL ENGINEER.
 - PPROPRIATE SAFETY DEVICES AND TRAINING REQUIRED. 18. PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CALL 811 TO REQUEST A UTILITY MARKOUT
 - SITE NOTES
 - SHALL BE INCLUDED ON HANDICAP ACCESSIBLE RAMPS 2. TRAFFIC SIGNAGE AND STRIPING SHALL CORRESPOND TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
 - 3. REFUSE AND RECYCLABLES SHALL BE STORED WITHIN THE OUTSIDE SCREENED TRASI ENCLOSURE AS NOTED ON THE PLANS.
 - 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL WASTE MATERIALS IN ACCORDANCE WITH GOVERNING REGULATIONS AND AGENCIES.
 - 5. THERE SHALL BE NO ON-SITE BURIAL OF CONSTRUCTION MATERIALS, TREE BRANCHES, STUMPS,
 - OR OTHER DELETERIOUS MATERIALS. 6. MATERIALS, WORKMANSHIP, AND CONSTRUCTION FOR THE SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH:
 - A. RESIDENTIAL SITE IMPROVEMENT STANDARDS (N.I.A.C. 5:21). B. NEW JERSEY DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND
 - BRIDGE CONSTRUCTION", 2019: AS SUPPLEMENTED. C. CURRENT PREVAILING MUNICIPAL, COUNTY, AND/OR STATE AGENCY SPECIFICATIONS, STANDARDS, CONDITIONS, AND REQUIREMENTS.
 - D. CURRENT PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS
 - UTILITY NOTES
 - EXISTING UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTIONS, TEST PITS SHALL BE CONDITIONS COULD RENDER THE DESIGNS HEREON INAPPROPRIATE OR INEFFECTIVE.
 - 2. UTILITY RELOCATIONS SHOWN HEREON, IF ANY, ARE FOR INFORMATIONAL PURPOSES ONLY IN COOPERATION WITH THE RESPECTIVE UTILITY COMPANY/AUTHORITIES.
 - OF STRUCTURE.
 - 4. CONTRACTOR IS RESPONSIBLE TO DETERMINE WHEN SPECIAL OR OVERSIZED DRAINAGE INSTALLATION

 - EXISTING SEWER MAIN ON WEST PARK AVE. OWNED AN OPERATED BY NEPTUNE SEWAGE MUNICIPAL REVIEW AND APPROVAL. ACCORDING TO NEW JERSEY DEPARTMENT C MUNICIPALITY OR UTILITY AUTHORITY, SEWER LINES, INCLUDING FORCE MAINS AND LATERALS
 - . ALL WATER MAINS SHOULD BE SEPARATED FROM SANITARY SEWER AND INDUSTRIAL DISCHARGE OF ENVIRONMENTAL PROTECTION.
 - 8. AT THE CROSSINGS OF SEWER LINES AND WATER MAINS, THE TOP OF THE SEWER LINES SHALL BE #3501-OR EQUIVALENT AT DIP/PVC JOINTS.
 - 9. GAS, ELECTRIC, LIGHTING, CABLE TELEVISION, AND ELECTRICAL SERVICE PLANS, IF REQUIRED, REQUIREMENTS.
 - COURSE.
 - DEPARTMENT CONNECTION
 - ADA INSTRUCTIONS TO CONTRACTOR:
 - INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING: (NOTE: THIS LIST IS NOT INTENDED TO CAPTURE EVERY APPLICABLE FEDERAL, STATE
 - COMPLIANCE WITH THE LAW, WHETHER OR NOT STATED SPECIFICALLY HEREIN): NOMINALLY 2.0%) IN ANY DIRECTION.
 - B. CURB RAMPS- SLOPES SHALL NOT EXCEED 1:12 (8.3%).
 - DIRECTION. SLOPE.
 - POSITIVE DRAINAGE.
 - DOORWAY OPENING CONDITIONS (SEE APPLICABLE CODE SECTIONS).
 - THE LOCAL BUILDING CODE OFFICIAL PRIOR TO COMMENCING WORK.

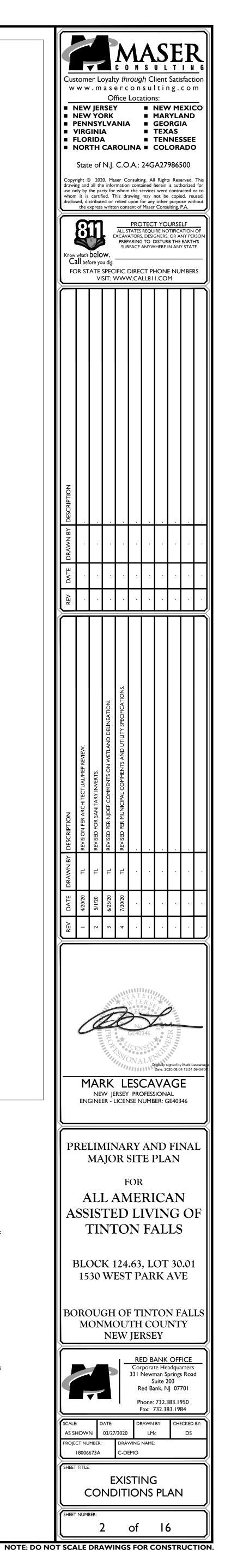
DITIONAL SITE NOTES: THE ASSISTED LIVING UNITS PROPOSED HEREIN SHALL COMPLY WITH BOROUGH CODE SECTION 40-36.1.2, REQUIRING EACH ASSISTED LIVING FACILITY TO PROVIDE, AT A MINIMUM, ONE FURNISHED ROOM, A PRIVATE BATHROOM, A KITCHENETTE, AND A LOCKABLE DOOR AT 2. THE LIGHTING APPURTENANCES PROPOSED HEREIN SHALL COMPLY WITH BOROUGH CODE SECTION 40-26.N.I.C.I WHICH STATES OUTDOOR LIGHTING DURING NON-OPERATING HOURS OF THE BUSINESS ON SITE, NOT NECESSARY FOR SAFETY AND SECURITY PURPOSES, SHALL BE JCED, ACTIVATED BY A MOTION SENSOR DEVICE, OR TURNED OFF. SEE LIGHTING PLAN, 3. PRIOR TO CONSTRUCTION, THE STRUCTURAL DESIGN, PLAN, AND DETAILS OF THE RETAINING WALL CALCULATIONS SHALL BE SUBMITTED BY THE CONTRACTOR TO THE BOROUGH CONSTRUCTION OFFICIAL FOR PLAN REVIEW AND RELEASE FOR CONSTRUCTION. 4. PRIOR TO CONSTRUCTION THE FALL PROTECTION FENCING PLAN AND DETAILS SHALL BE SUBMITTED BY THE CONTRACTOR TO THE BOROUGH CONSTRUCTION OFFICIAL FOR PLAN

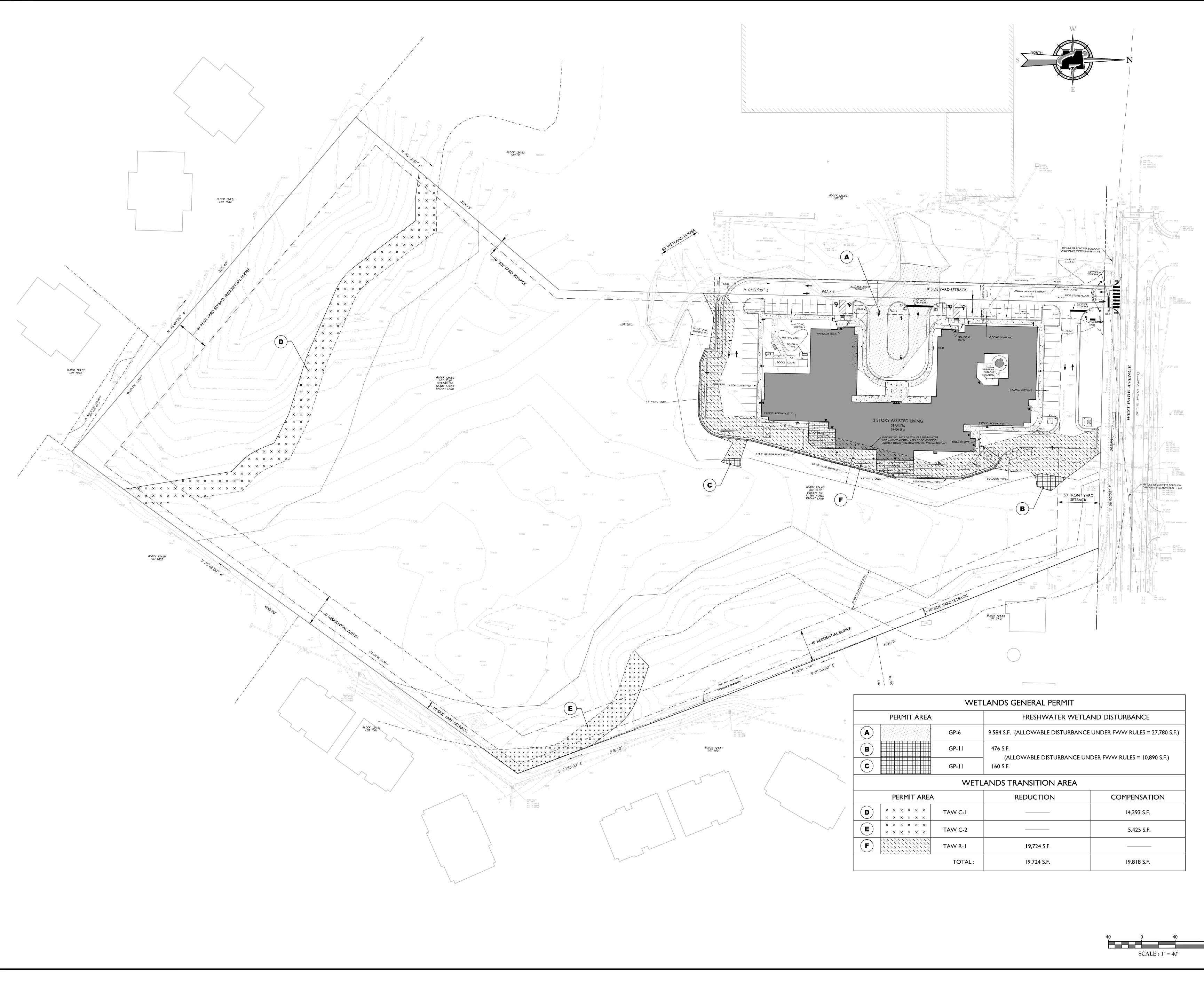
5. A PRE-CONSTRUCTION MEETING SHALL BE SCHEDULED BETWEEN THE CONTRACTOR AND THE 6. THE CONTRACTOR SHALL PROVIDE MARK-OUT IDENTIFICATION NUMBER PRIOR TO 7. THE CONTRACTOR SHALL PROVIDE A MINIMUM OF 48 HOUR NOTICE OF COMMENCEMENT OF CONSTRUCTION TO THE BOROUGH CONSULTING ENGINEER AND ALL OTHER OUTSIDE

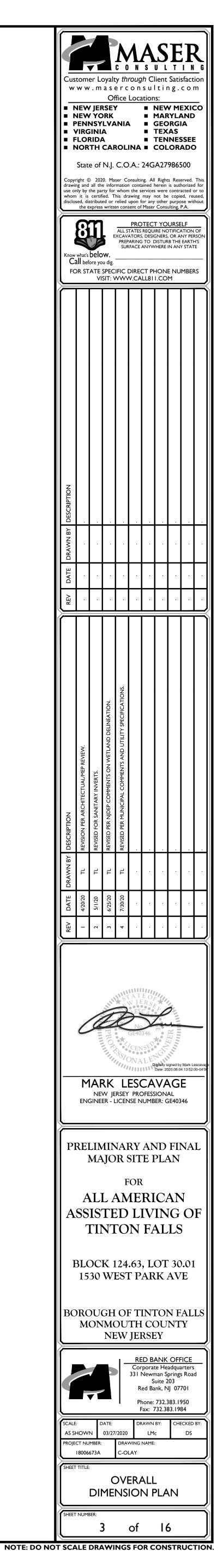
- SECTION 40-26.G.8.c MINIMUM DRIVEWAY OFFSET FROM PROPERTY LINE SECTION 40-26.N.I.i - UNIFORM LIGHTING RATIO
 - <u>REQUIRED APPROVALS</u>
 BOROUGH OF TINTON FALLS PLANNING BOARD PRELIMINARY AND FINAL MAJOR SITE PLAN BOROUGH OF TINTON FALLS ROAD OPENING PERMIT BOROUGH OF TINTON FALLS CONSTRUCTION PERMI[®]
 - NIDEP STORMWATER GENERAL PERMIT MONMOUTH COUNTY PLANNING BOARD SITE PLAN APPROVAL NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTIONS (NJDEP) FRESHWATER WETLANDS
 - NJDEP DIVISION OF LAND USE REGULATION (DLUR) PERMITS: A. FRESHWATER WETLANDS GENERAL PERMIT #6;
 - D FLOOD HAZARD VERIFICATION
 - NJDEP DIVISION OF WATER QUALITY TREATMENT WORKS APPROVAL (TWA);
 - NJDCA CONSTRUCTION PLAN REVIEW/RELEASE.
 - THE TOPOGRAPHIC INFORMATION SHOWN HEREON IS TAKEN FROM A PLAN
 - 6. THE HORIZONTAL DATUM IS RELATIVE TO THE NEW JERSEY STATE PLANE COORDINATE SYSTEM
 - BENCHMARK REFERENCE: PER NOTE 5- MAG NAIL SET AT ELEVATION: 137.04 FEET NAVD 1988.

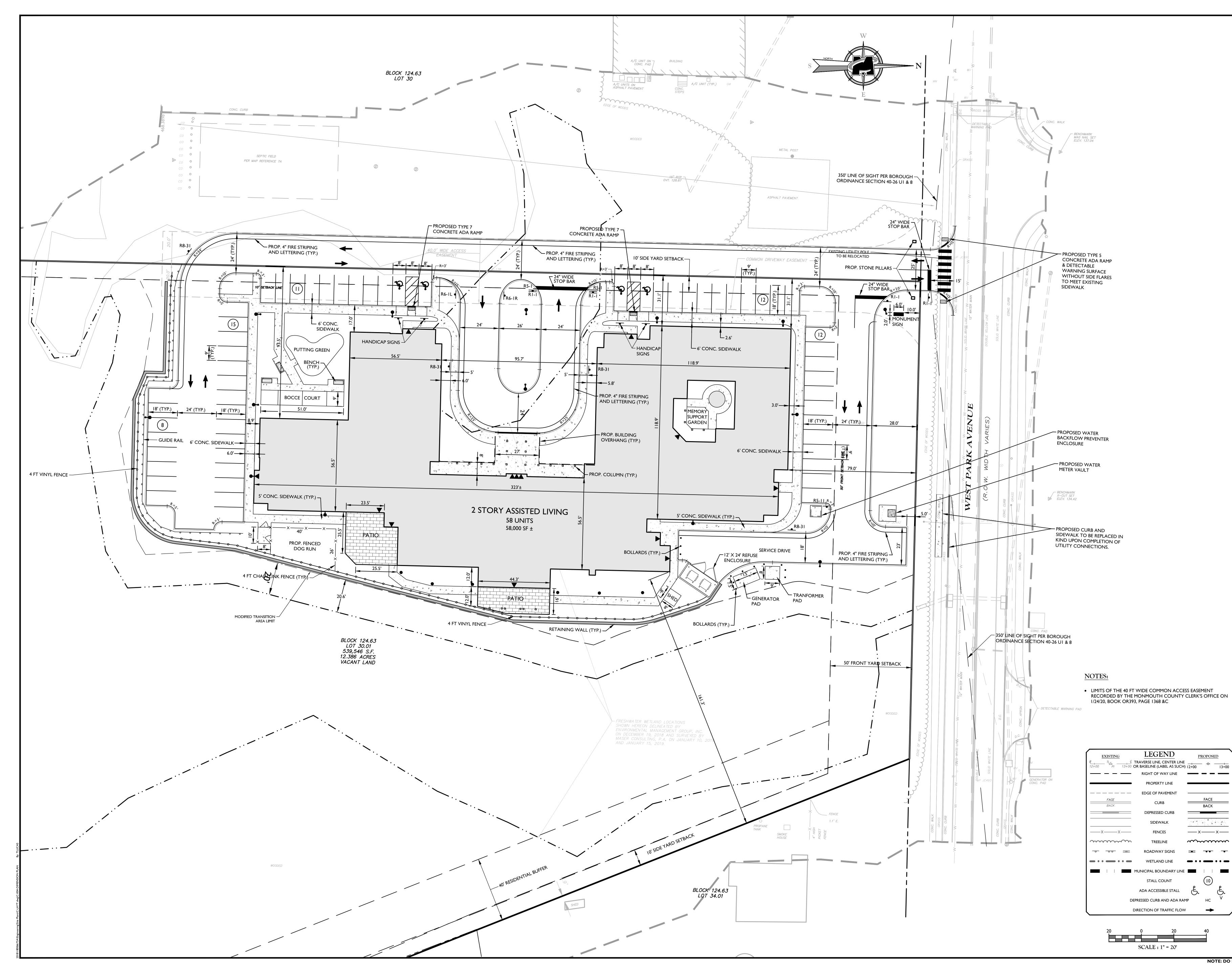


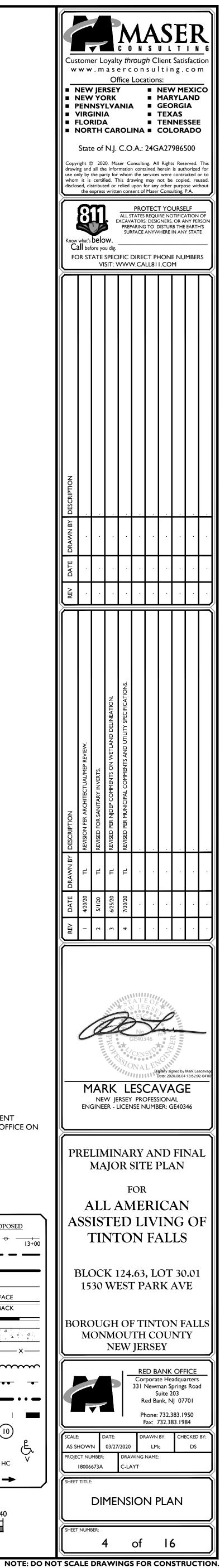
A/Engineering/Site Plans/C-DEMO.dwg/C-002-EXISTING CONDITIONS By: TLUCAS

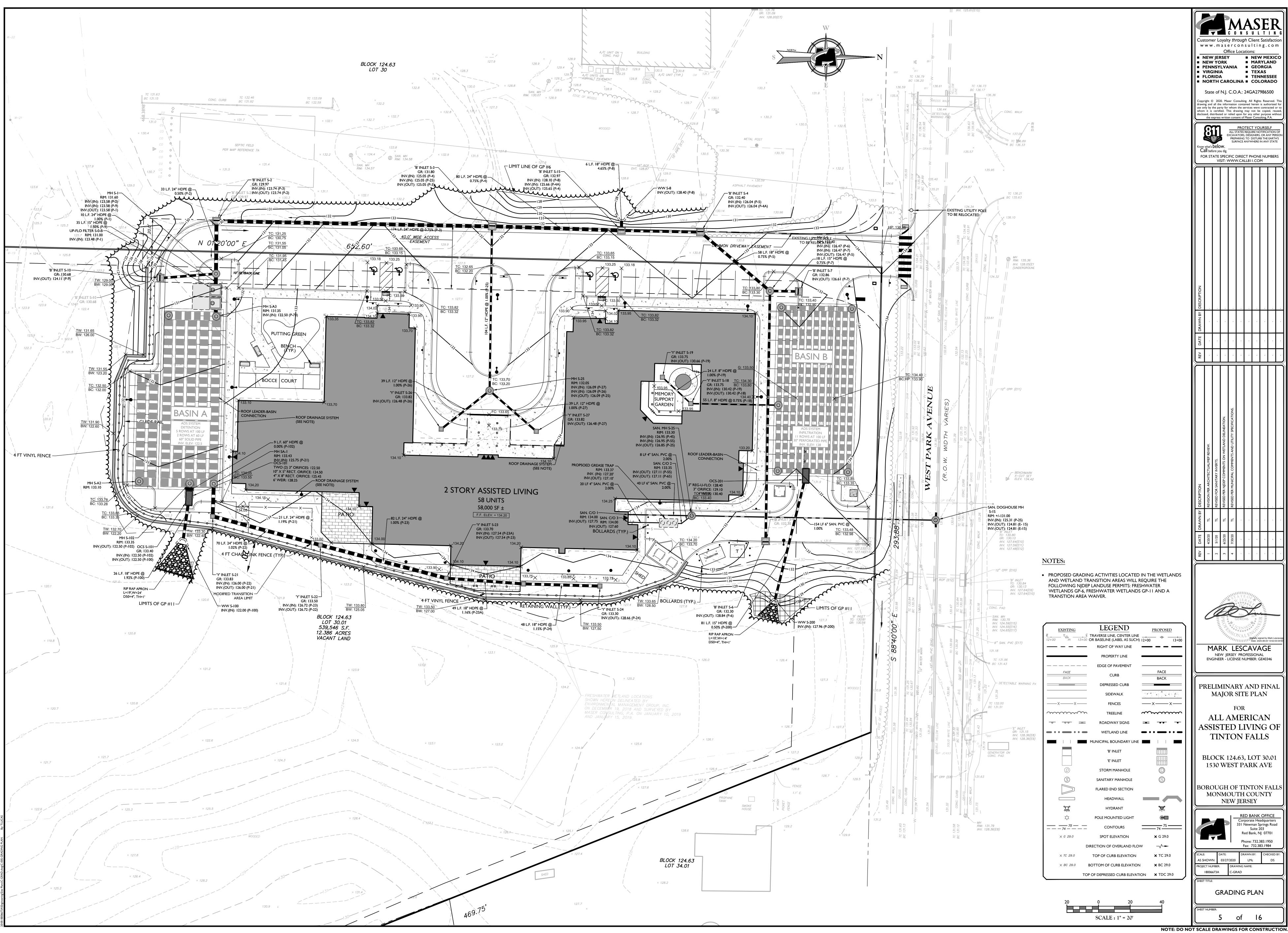


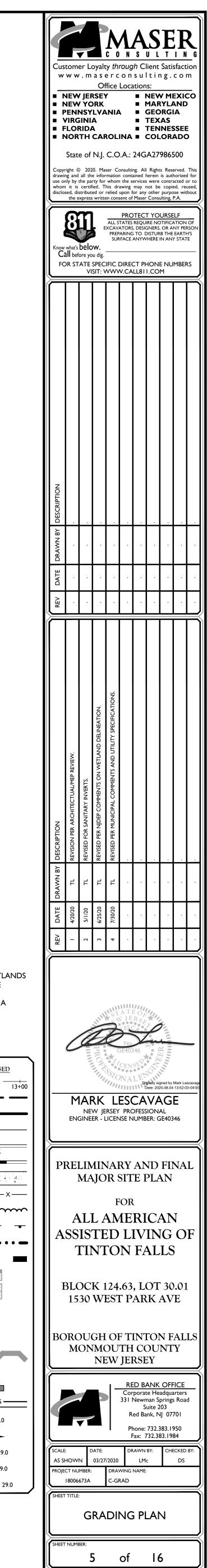






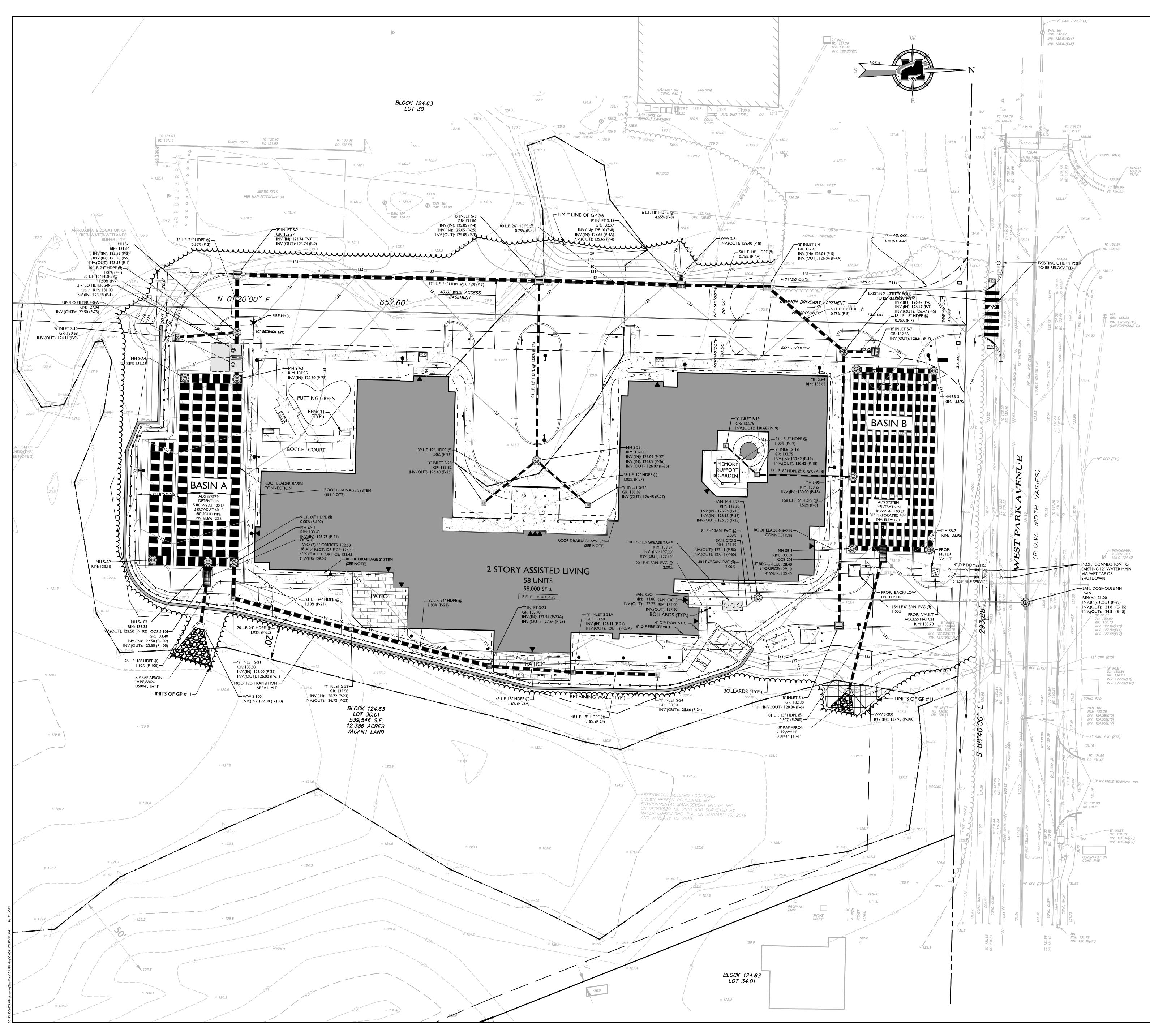






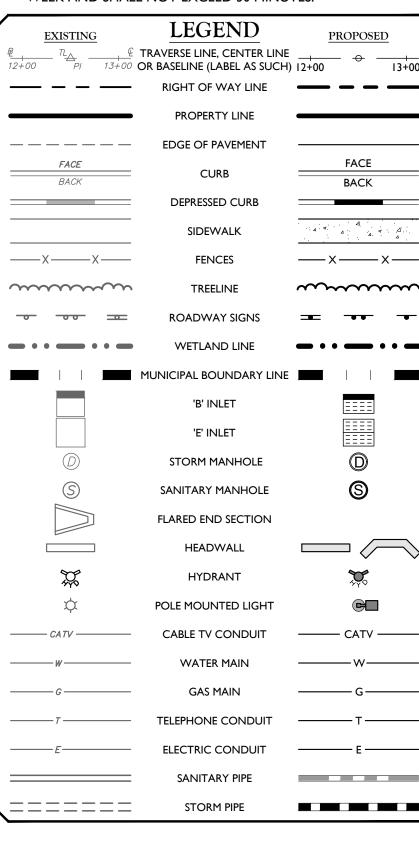
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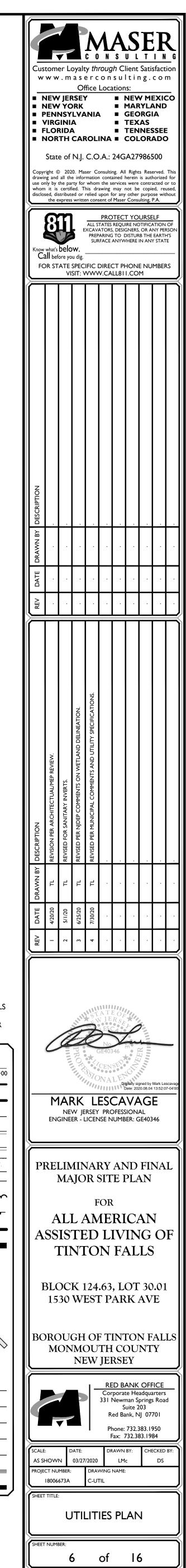


NOTES:

- I. ROOF STORM DRAINAGE IS TO BE CONVEYED TO THE UNDERGROUND DETENTION SYSTEMS AS SHOWN.
- 2. THE ROOF STORMWATER CONVEYANCE SYSTEM IS TO BE DESIGNED ACCORDING TO THE NATIONAL STANDARD PLUMBING CODE AND IS TO SUBMITTED AS PART OF THE BUILDING PERMIT PROCESS.
- 3. KNOX BOX TO BE INSTALLED BY THE CONTRACTOR. 4. THE GENERATOR SPECIFIED SHALL NOT EXCEED 70 DECIBELS AT ANY PROPERTY LINE AND ROUTINE TESTING AND MAINTENANCE SHALL NOT OCCUR MORE THAN ONCE PER WEEK AND SHALL NOT EXCEED 30 MINUTES.



SCALE : 1" = 20'



PROPOSED

FACE

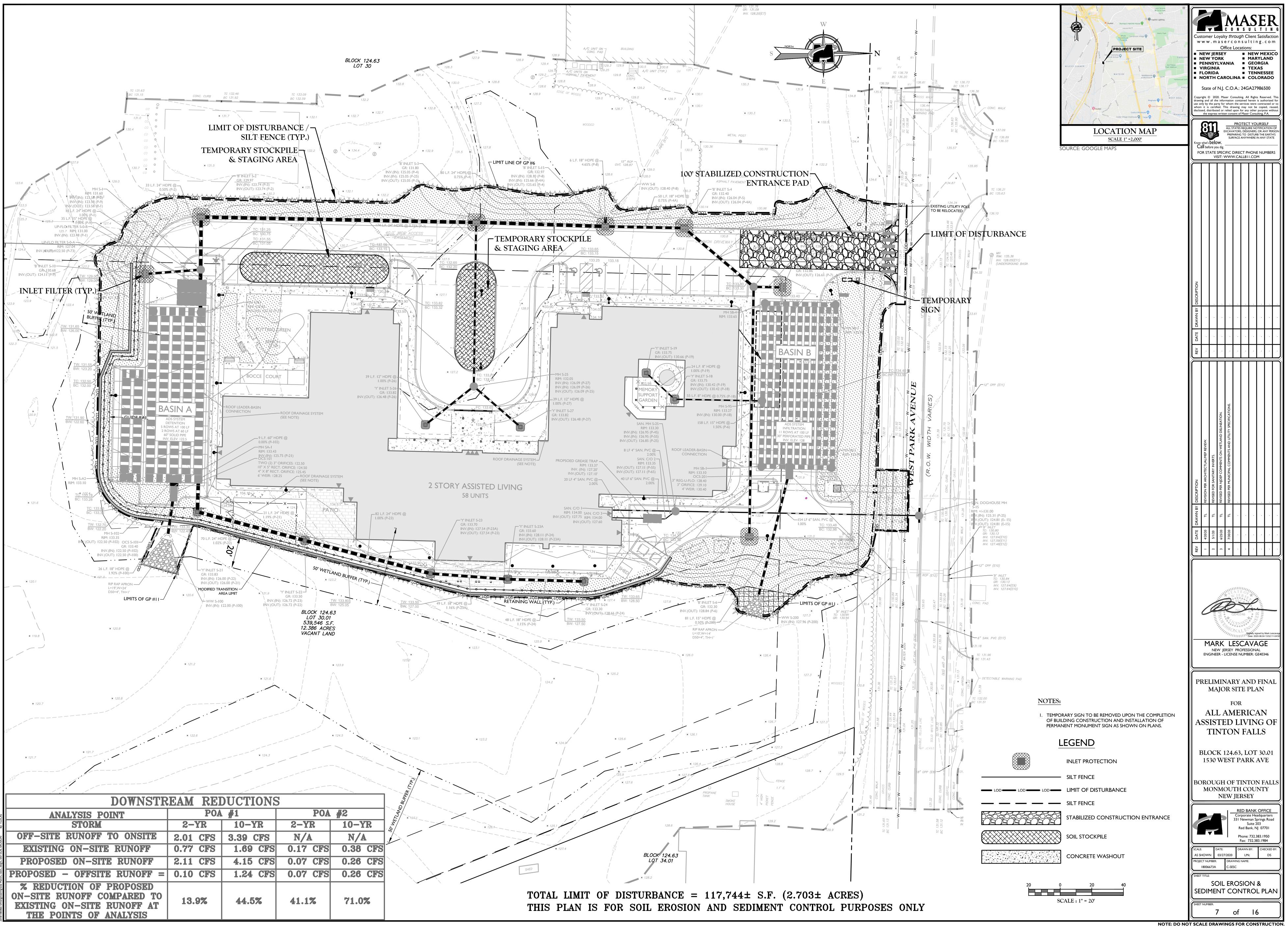
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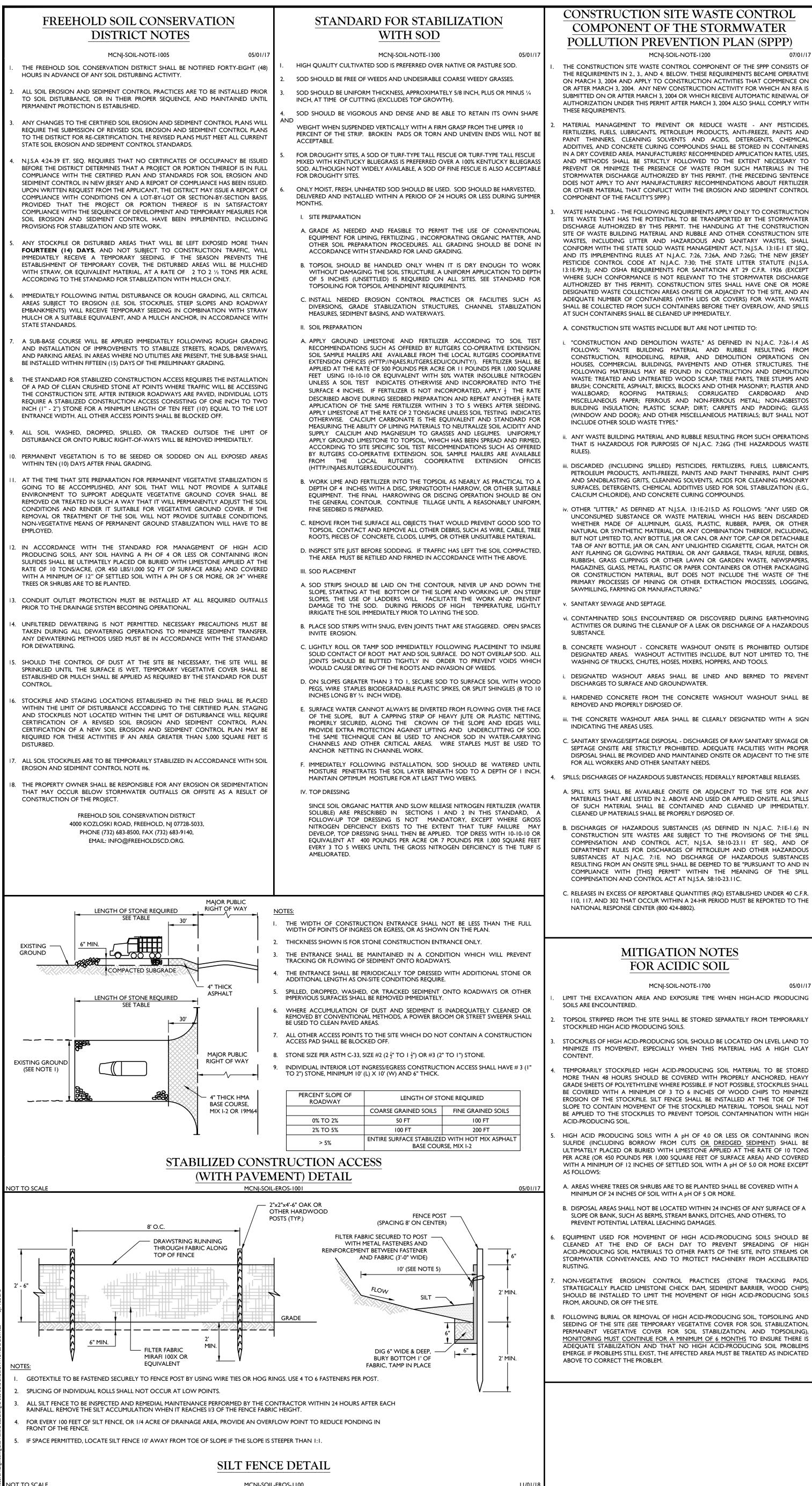
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NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION

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CONSTRUCTION SITE WASTE CONTROL COMPONENT OF THE STORMWATER POLLUTION PREVENTION PLAN (SPPP) MCNJ-SOIL-NOTE-1200 07/01 THE CONSTRUCTION SITE WASTE CONTROL COMPONENT OF THE SPPP CONSISTS OF SITE PREPARATION THE REQUIREMENTS IN 2., 3., AND 4. BELOW. THESE REQUIREMENTS BECAME OPERATIVE ON MARCH 3, 2004 AND APPLY TO CONSTRUCTION ACTIVITIES THAT COMMENCE ON OR AFTER MARCH 3, 2004. ANY NEW CONSTRUCTION ACTIVITY FOR WHICH AN RFA IS SUBMITTED ON OR AFTER MARCH 3, 2004 OR WHICH RECEIVE AUTOMATIC RENEWAL OF AUTHORIZATION UNDER THIS PERMIT AFTER MARCH 3, 2004 ALSO SHALL COMPLY WITH THESE REOUIREMENTS. MATERIAL MANAGEMENT TO PREVENT OR REDUCE WASTE - ANY PESTICIDES, GRADING. FERTILIZERS, FUELS, LUBRICANTS, PETROLEUM PRODUCTS, ANTI-FREEZE, PAINTS AN PAINT THINNERS, CLEANING SOLVENTS AND ACIDS, DETERGENTS, CHEMICAL ADDITIVES, AND CONCRETE CURING COMPOUNDS SHALL BE STORED IN CONTAINERS IN A DRY COVERED AREA. MANUFACTURERS' RECOMMENDED APPLICATION RATES, USES, AND METHODS SHALL BE STRICTLY FOLLOWED TO THE EXTENT NECESSARY TO PREVENT OR MINIMIZE THE PRESENCE OF WASTE FROM SUCH MATERIALS IN THI STORMWATER DISCHARGE AUTHORIZED BY THIS PERMIT. (THE PRECEDING SENTENCE DOES NOT APPLY TO ANY MANUFACTURERS' RECOMMENDATIONS ABOUT FERTILIZER OR OTHER MATERIAL THAT CONFLICT WITH THE EROSION AND SEDIMENT CONTROL COMPONENT OF THE FACILITY'S SPPP.) WASTE HANDLING - THE FOLLOWING REQUIREMENTS APPLY ONLY TO CONSTRUCTION SITE WASTE THAT HAS THE POTENTIAL TO BE TRANSPORTED BY THE STORMWATER DISCHARGE AUTHORIZED BY THIS PERMIT. THE HANDLING AT THE CONSTRUCTION SITE OF WASTE BUILDING MATERIAL AND RUBBLE AND OTHER CONSTRUCTION SITE SEEDBED PREPARATION WASTES, INCLUDING LITTER AND HAZARDOUS AND SANITARY WASTES, SHALL CONFORM WITH THE STATE SOLID WASTE MANAGEMENT ACT, N.J.S.A. 13:1E-1 ET SEQ., AND ITS IMPLEMENTING RULES AT N.J.A.C. 7:26, 7:26A, AND 7:26G; THE NEW JERSEY PESTICIDE CONTROL CODE AT N.J.A.C. 7:30; THE STATE LITTER STATUTE (N.J.S.A. 13:1E-99.3); AND OSHA REQUIREMENTS FOR SANITATION AT 29 C.F.R. 1926 (EXCEP WHERE SUCH CONFORMANCE IS NOT RELEVANT TO THE STORMWATER DISCHARGE AUTHORIZED BY THIS PERMIT). CONSTRUCTION SITES SHALL HAVE ONE OR MORE DESIGNATED WASTE COLLECTION AREAS ONSITE OR ADJACENT TO THE SITE, AND AN ADEQUATE NUMBER OF CONTAINERS (WITH LIDS OR COVERS) FOR WASTE. WASTE SHALL BE COLLECTED FROM SUCH CONTAINERS BEFORE THEY OVERFLOW, AND SPILLS AT SUCH CONTAINERS SHALL BE CLEANED UP IMMEDIATELY. A. CONSTRUCTION SITE WASTES INCLUDE BUT ARE NOT LIMITED TO: . "CONSTRUCTION AND DEMOLITION WASTE," AS DEFINED IN N.J.A.C. 7:26-1.4 AS FOLLOWS: "WASTE BUILDING MATERIAL AND RUBBLE RESULTING FROM CONSTRUCTION, REMODELING, REPAIR, AND DEMOLITION OPERATIONS ON HOUSES, COMMERCIAL BUILDINGS, PAVEMENTS AND OTHER STRUCTURES. THI FOLLOWING MATERIALS MAY BE FOUND IN CONSTRUCTION AND DEMOLITION WASTE: TREATED AND UNTREATED WOOD SCRAP: TREE PARTS, TREE STUMPS AND BRUSH: CONCRETE, ASPHALT, BRICKS, BLOCKS AND OTHER MASONRY: PLASTER AND WALLBOARD: ROOFING MATERIALS: CORRUGATED CARDBOARD AND MISCELLANEOUS PAPER: FERROUS AND NON-FERROUS METAL: NON-ASBESTOS BUILDING INSULATION; PLASTIC SCRAP; DIRT; CARPETS AND PADDING; GLASS (WINDOW AND DOOR); AND OTHER MISCELLANEOUS MATERIALS; BUT SHALL NOT INCLUDE OTHER SOLID WASTE TYPES." i. ANY WASTE BUILDING MATERIAL AND RUBBLE RESULTING FROM SUCH OPERATIONS THAT IS HAZARDOUS FOR PURPOSES OF N.J.A.C. 7:26G (THE HAZARDOUS WASTE iii. DISCARDED (INCLUDING SPILLED) PESTICIDES, FERTILIZERS, FUELS, LUBRICANTS, PETROLEUM PRODUCTS. ANTI-FREEZE, PAINTS AND PAINT THINNERS, PAINT CHIPS AND SANDBLASTING GRITS, CLEANING SOLVENTS, ACIDS FOR CLEANING MASONRY SURFACES, DETERGENTS, CHEMICAL ADDITIVES USED FOR SOIL STABILIZATION (E.G., CALCIUM CHLORIDE), AND CONCRETE CURING COMPOUNDS. REOUIREMENTS". iv. OTHER "LITTER," AS DEFINED AT N.I.S.A. 13:1E-215.D AS FOLLOWS: "ANY USED OR UNCONSUMED SUBSTANCE OR WASTE MATERIAL WHICH HAS BEEN DISCARDED WHETHER MADE OF ALUMINUM, GLASS, PLASTIC, RUBBER, PAPER, OR OTHER NATURAL OR SYNTHETIC MATERIAL, OR ANY COMBINATION THEREOF. INCLUDING. BUT NOT LIMITED TO, ANY BOTTLE, JAR OR CAN, OR ANY TOP, CAP OR DETACHABLE TAB OF ANY BOTTLE. IAR OR CAN. ANY UNLIGHTED CIGARETTE, CIGAR, MATCH OR ANY FLAMING OR GLOWING MATERIAL OR ANY GARBAGE, TRASH, REFUSE, DEBRIS, RUBBISH, GRASS CLIPPINGS OR OTHER LAWN OR GARDEN WASTE, NEWSPAPERS, MAGAZINES, GLASS, METAL, PLASTIC OR PAPER CONTAINERS OR OTHER PACKAGING OR CONSTRUCTION MATERIAL, BUT DOES NOT INCLUDE THE WASTE OF THE PRIMARY PROCESSES OF MINING OR OTHER EXTRACTION PROCESSES, LOGGING, SAWMILLING, FARMING OR MANUFACTURING." v. SANITARY SEWAGE AND SEPTAGE. vi. CONTAMINATED SOILS ENCOUNTERED OR DISCOVERED DURING EARTHMOVING TIES OR DURING THE CLEANUP OF A LEAK OR DISCHARGE OF A HAZARDOUS B. CONCRETE WASHOUT - CONCRETE WASHOUT ONSITE IS PROHIBITED OUTSIDE DESIGNATED AREAS. WASHOUT ACTIVITIES INCLUDE, BUT NOT LIMITED TO, THE WASHING OF TRUCKS, CHUTES, HOSES, MIXERS, HOPPERS, AND TOOLS. DESIGNATED WASHOUT AREAS SHALL BE LINED AND BERMED TO PREVENT DISCHARGES TO SURFACE AND GROUNDWATER. ii. HARDENED CONCRETE FROM THE CONCRETE WASHOUT WASHOUT SHALL BE REMOVED AND PROPERLY DISPOSED OF. iii. THE CONCRETE WASHOUT AREA SHALL BE CLEARLY DESIGNATED WITH A SIGN INDICATING THE AREAS USES. C. SANITARY SEWAGE/SEPTAGE DISPOSAL - DISCHARGES OF RAW SANITARY SEWAGE OR SEPTAGE ONSITE ARE STRICTLY PROHIBITED. ADEQUATE FACILITIES WITH PROPER DISPOSAL SHALL BE PROVIDED AND MAINTAINED ONSITE OR ADJACENT TO THE SITE FOR ALL WORKERS AND OTHER SANITARY NEEDS. SPILLS; DISCHARGES OF HAZARDOUS SUBSTANCES; FEDERALLY REPORTABLE RELEASES. A. SPILL KITS SHALL BE AVAILABLE ONSITE OR ADJACENT TO THE SITE FOR ANY MATERIALS THAT ARE LISTED IN 2. ABOVE AND USED OR APPLIED ONSITE. ALL SPILLS OF SUCH MATERIAL SHALL BE CONTAINED AND CLEANED UP IMMEDIATELY. CLEANED UP MATERIALS SHALL BE PROPERLY DISPOSED OF. B. DISCHARGES OF HAZARDOUS SUBSTANCES (AS DEFINED IN N.J.A.C. 7:1E-1.6) IN CONSTRUCTION SITE WASTES ARE SUBJECT TO THE PROVISIONS OF THE SPILL

COMPENSATION AND CONTROL ACT, N.J.S.A. 58:10-23.11 ET SEQ., AND OF DEPARTMENT RULES FOR DISCHARGES OF PETROLEUM AND OTHER HAZARDOUS SUBSTANCES AT N.I.A.C. 7:1E. NO DISCHARGE OF HAZARDOUS SUBSTANCES RESULTING FROM AN ONSITE SPILL SHALL BE DEEMED TO BE "PURSUANT TO AND IN COMPLIANCE WITH [THIS] PERMIT" WITHIN THE MEANING OF THE SPILL COMPENSATION AND CONTROL ACT AT N.J.S.A. 58:10-23.11C. . RELEASES IN EXCESS OF REPORTABLE QUANTITIES (RQ) ESTABLISHED UNDER 40 C.F.R.

110, 117, AND 302 THAT OCCUR WITHIN A 24-HR PERIOD MUST BE REPORTED TO THE NATIONAL RESPONSE CENTER (800 424-8802).

MITIGATION NOTES FOR ACIDIC SOIL

MCNJ-SOIL-NOTE-1700 LIMIT THE EXCAVATION AREA AND EXPOSURE TIME WHEN HIGH-ACID PRODUCING SOILS ARE ENCOUNTERED

TOPSOIL STRIPPED FROM THE SITE SHALL BE STORED SEPARATELY FROM TEMPORARILY STOCKPILED HIGH ACID PRODUCING SOILS. STOCKPILES OF HIGH ACID-PRODUCING SOIL SHOULD BE LOCATED ON LEVEL LAND TO

TEMPORARILY STOCKPILED HIGH ACID-PRODUCING SOIL MATERIAL TO BE STORED MORE THAN 48 HOURS SHOULD BE COVERED WITH PROPERLY ANCHORED, HEAVY GRADE SHEETS OF POLYETHYLENE WHERE POSSIBLE. IF NOT POSSIBLE, STOCKPILES SHALL BE COVERED WITH A MINIMUM OF 3 TO 6 INCHES OF WOOD CHIPS TO MINIMIZE EROSION OF THE STOCKPILE. SILT FENCE SHALL BE INSTALLED AT THE TOE OF THE SLOPE TO CONTAIN MOVEMENT OF THE STOCKPILED MATERIAL. TOPSOIL SHALL NOT

HIGH ACID PRODUCING SOILS WITH A PH OF 4.0 OR LESS OR CONTAINING IRON SULFIDE (INCLUDING BORROW FROM CUTS OR DREDGED SEDIMENT) SHALL BE ULTIMATELY PLACED OR BURIED WITH LIMESTONE APPLIED AT THE RATE OF 10 TONS PER ACRE (OR 450 POUNDS PER 1,000 SQUARE FEET OF SURFACE AREA) AND COVERED WITH A MINIMUM OF 12 INCHES OF SETTLED SOIL WITH A PH OF 5.0 OR MORE EXCEPT

A. AREAS WHERE TREES OR SHRUBS ARE TO BE PLANTED SHALL BE COVERED WITH A MINIMUM OF 24 INCHES OF SOIL WITH A DH OF 5 OR MORE. B. DISPOSAL AREAS SHALL NOT BE LOCATED WITHIN 24 INCHES OF ANY SURFACE OF A

PREVENT POTENTIAL LATERAL LEACHING DAMAGES. EQUIPMENT USED FOR MOVEMENT OF HIGH ACID-PRODUCING SOILS SHOULD BI CLEANED AT THE END OF EACH DAY TO PREVENT SPREADING OF HIGH ACID-PRODUCING SOIL MATERIALS TO OTHER PARTS OF THE SITE, INTO STREAMS OR STORMWATER CONVEYANCES, AND TO PROTECT MACHINERY FROM ACCELERATED

NON-VEGETATIVE EROSION CONTROL PRACTICES (STONE TRACKING PADS, STRATEGICALLY PLACED LIMESTONE CHECK DAM, SEDIMENT BARRIER, WOOD CHIPS) SHOULD BE INSTALLED TO LIMIT THE MOVEMENT OF HIGH ACID-PRODUCING SOILS FROM, AROUND, OR OFF THE SITE.

FOLLOWING BURIAL OR REMOVAL OF HIGH ACID-PRODUCING SOIL, TOPSOILING AND SEEDING OF THE SITE (SEE TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION. PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION. AND TOPSOILING). MONITORING MUST CONTINUE FOR A MINIMUM OF 6 MONTHS TO ENSURE THERE IS ADEQUATE STABILIZATION AND THAT NO HIGH ACID-PRODUCING SOIL PROBLEMS EMERGE. IF PROBLEMS STILL EXIST, THE AFFECTED AREA MUST BE TREATED AS INDICATED ABOVE TO CORRECT THE PROBLEM.

- A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARD FOR LAND GRADING.
- IMMEDIATELY PRIOR TO SEEDING AND TOPSOIL APPLICATION. THE SUBSOIL SHALL BE EVALUATED FOR COMPACTION IN ACCORDANCE WITH THE STANDARD FOR LAND
- . TOPSOIL SHOULD BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING THE SOIL STRUCTURE, A UNIFORM APPLICATION TO AN AVERAGE DEPTH OF 5 INCHES, MINIMUM OF 4 INCHES, FIRMED IN PLACE IS REQUIRED. ALTERNATIVE DEPTHS MAY BE CONSIDERED WHERE SPECIAL REGULATORY AND/OR INDUSTRY DESIGN STANDARDS ARE APPROPRIATE SUCH AS ON GOLF COURSES. SPORTS FIELDS LANDFILL CAPPING ETC. TOPSOIL SHALL BE AMENDED WITH ORGANIC MATTER, AS NEEDED, IN ACCORDANCE WITH THE STANDARD FOR TOPSOILING.
- D. INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE-STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS.
- A. UNIFORMLY APPLY GROUND LIMESTONE AND FERTILIZER TO TOPSOIL WHICH HAS BEEN SPREAD AND FIRMED, ACCORDING TO SITE SPECIFIC SOIL TEST RECOMMENDATIONS SUCH AS OFFERED BY RUTGERS CO-OPERATIVE EXTENSION. SOIL SAMPLE MAILERS ARE AVAILABLE FROM THE LOCAL RUTGERS COOPERATIVE EXTENSION OFFICES (HTTP://NJAES.RUTGERS.EDU/COUNTY/).
- a. FOR TEMPORARY SEEDING: FERTILIZER SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR II POUNDS PER 1,000 SQUARE FEET OF 10-20-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE. LIMING RATE SHALL BE ESTABLISHED PER SOIL TESTING.
- b. FOR PERMANENT SEEDING: FERTILIZER SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SOUARE FEET OF 10-10-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE AND INCORPORATED INTO THE SURFACE 4 INCHES. FERTILIZER IS NOT INCORPORATED, APPLY ONE-HALF THE RATE DESCRIBED ABOVE DURING SEEDBED PREPARATION AND REPEAT ANOTHER ONE-HALF RATE APPLICATION OF THE SAME FERTILIZER WITHIN 3 TO 5 WEEKS AFTER SEEDING.
- . WORK LIME AND FERTILIZER INTO THE TOPSOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRING-TOOTH HARROW, OR OTHER SUITABLE FOUIPMENT, THE FINAL HARROWING OR DISKING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLE UNIFORM SEEDBED IS
- HIGH ACID PRODUCING SOIL. SOILS HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDE SHALL BE COVERED WITH A MINIMUM OF 12 INCHES OF SOIL HAVING A PH OF 5 OR MORE BEFORE INITIATING SEEDBED REPARATION. SEE STANDARD FOR MANAGEMENT OF HIGH ACID-PRODUCING SOILS FOR SPECIFIC REQUIREMENTS.
- . IMMEDIATELY PRIOR TO SEEDING AND TOPSOIL APPLICATION, THE SURFACE SHOULD BE SCARIFIED 6" TO 12" WHERE THERE HAS BEEN SOIL COMPACTION. THIS PRACTICE IS PERMISSIBLE ONLY WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.). SEE "SOIL DECOMPACTION AND TESTING
- REMOVE FROM THE SURFACE ALL STONES 2 INCHES OR LARGER IN ANY DIMENSION AND OTHER DEBRIS SUCH AS WIRE, TREE ROOTS, PIECES OF CONCRETE, CLODS, LUMPS OR OTHER UNSUITABLE MATERIAL.
- A. TEMPORARY SEEDING SPECIFICATIONS TEMPORARY VEGETATIVE COVER SHALL CONSIST OF PERENNIAL RYEGRASS APPLIED UNIFORMLY AT A RATE OF 1.0 POUNDS PER 1,000 SQ.FT. (100 LBS/ACRE), OR A MIXTURE FROM TABLE 7-2 OF THE STANDARDS APPROVED BY THE SOIL CONSERVATION DISTRICT.

STABILIZATION WITH MULCH ONLY

MCNJ-SOIL-NOTE-1301 I. SITE PREPARATION

- a. grade as needed and feasible to permit the use of conventional EQUIPMENT FOR SEEDBED PREPARATION SEEDING, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARDS FOR LAND GRADING.
- B. INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH A DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS. SEE STANDARDS 11 THROUGH 42. 2. PROTECTIVE MATERIALS
- A UNROTTEN SMALL-GRAIN STRAW, AT 2.0 TO 2.5 TONS PER ACRE, IS SPREA UNIFORMLY AT 90 TO 115 POUNDS PER 1,000 SQUARE FEET AND ANCHORED WITH A MULCH ANCHORING TOOL, LIQUID MULCH BINDERS, OR NETTING TIE DOWN. OTHER SUITABLE MATERIALS MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT. THE APPROVED RATES ABOVE HAVE BEEN MET WHEN THE MULCH COVERS THE GROUND COMPLETELY UPON VISUAL INSPECTION, I.E. THE SOIL CANNOT BE SEEN BELOW THE MULCH.
- 3. SYNTHETIC OR ORGANIC SOIL STABILIZERS MAY BE USED UNDER SUITABLI CONDITIONS AND IN QUANTITIES AS RECOMMENDED BY THE MANUFACTURER. C. WOOD-FIBER OR PAPER-FIBER MULCH HYDROSEEDER IN QUANTITIES/APPLICATION
- RATES AS RECOMMENDED BY MANUFACTURER. D. MULCH NETTING, SUCH AS PAPER JUTE, EXCELSIOR, COTTON, OR PLASTIC, MAY BE
- . WOODCHIPS APPLIED UNIFORMLY TO A MINIMUM DEPTH OF 2 INCHES MAY BE USED WOODCHIPS WILL NOT BE USED ON AREAS WHERE FLOWING WATER COULD WASH THEM INTO AN INLET AND PLUG IT.
- 3. MULCH ANCHORING SHOULD BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT OF HAY OR STRAW MULCH TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS, DEPENDING UPON THE SIZE OF THE AREA AND STEEPNESS OF THE SLOPES.
- A. PEG AND TWINE DRIVE 8 TO 10 INCH WOODEN PEGS TO WITHIN 2 TO 3 INCHES OI THE SOIL SURFACE EVERY 4 FEET IN ALL DIRECTIONS. STAKES MAY BE DRIVEN BEFORE OR AFTER APPLYING MULCH. SECURE MULCH TO SOIL SURFACE BY STRETCHING TWINE BETWEEN PEGS IN A CRISS-CROSS AND A SQUARE PATTERN. SECURE TWINE AROUND EACH PEG WITH TWO OR MORE ROUND TURNS.
- B. MULCH NETTING STAPLE PAPER, COTTON, OR PLASTIC NETTINGS OVER MULCH. USE DEGRADABLE NETTING IN AREAS TO BE MOWED. NETTING IS USUALLY AVAILABLE IN ROLLS 4 FEET WIDE AND UP TO 300 FEET LONG.
- C. CRIMPER MULCH ANCHORING COULTER TOOL A TRACTOR-DRAWN IMPLEMENT ESPECIALLY DESIGNED TO PUNCH AND ANCHOR MULCH INTO THE SOIL SURFACE. THIS PRACTICE AFFORDS MAXIMUM FROSION CONTROL, BUT ITS USE IS LIMITED TO THE SLOPES UPON WHICH THE TRACTOR CAN OPERATE SAFELY. SOIL PENETRATION SHOULD BE ABOUT 3 TO 4 INCHES. ON A SLOPING LAND, THE OPERATION SHOULD

D. LIOUID MULCH-BINDERS

BE ON THE CONTOUR

USED.

- . APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND CATCHES THE MULCH, IN VALLEYS, AND AT CRESTS OF BANKS. REMAINDER OF AREA SHOULD BE UNIFORM IN APPERANC
- 2. USE ONE OF THE FOLLOWING:
- a. ORGANIC AND VEGETABLE BASED BINDERS NATURALLY OCCURRING POWDER BASED, HYDROPHILIC MATERIALS THAT MIXED WITH WATER FORMULATES A GEL AND WHEN APPLIED TO MULCH UNDER SATISFACTORY CURING CONDITIONS WILL FORM MEMBRANE NETWORKS OF INSOLUBLE POLYMERS. THE VEGETABLE GEL SHALL BE PHYSIOLOGICALLY HARMLESS AND NOT RESULT IN A PHYTO-TOXIC EFFECT OR IMPEDE GROWTH OF TURFGRASS. VEGETABLE BASED GELS SHALL BE APPLIED AT RATES AND WEATHER CONDITIONS RECOMMENDED BY THE MANUFACTURER.
- b. SYNTHETIC BINDERS HIGH POLYMERS SYNTHETIC EMULSION, MISCIBLE WITH WATER WHEN DILUTED AND FOLLOWING APPLICATION TO MULCH, DRYING AND CURING SHALL NO LONGER BE SOLUBLE OR DISPERSIBLE IN WATER. IT SHALL BE APPLIED AT RATES AND WEATHER CONDITIONS RECOMMENDED B THE MANUFACTURER AND REMAIN TACKY UNTIL GERMINATION OF GRASS.

B. PERMANENT SEEDING SPECIFICATIONS - SELECT AN APPROVED MIXTURE FROM THOSE LISTED BELOW. AN APPROVED MIXTURE FROM TABLE 4-3 OF THE STANDARDS, OR USE A MIXTURE RECOMMENDED BY RUTGERS COOPERATIVE EXTENSION OR NATURAL RESOURCES CONSERVATION SERVICE WHICH IS APPROVED BY THE SOIL CONSERVATION DISTRICT. SEED GERMINATION SHALL HAVE BEEN TESTED WITHIN 12 MONTHS OF THE PLANTING DATE. NO SEED SHALL BE ACCEPTED WITH A GERMINATION TEST DATE MORE THAN 12 MONTHS OLD UNLESS RETESTED. SEED SHALL BE APPLIED AS NOTED BELOW WITHIN THE DATES SPECIFIED IN THE STANDARDS:

I. LAWN AREAS:

- MIX #14 (EXCESSIVELY TO MODERATELY DRAINED SOIL) TALL FESCUE KENTUCKY BLUE GRASS (BLEND) PERENNIAL RYE GRASS (BLEND) MIX #15 (WELL TO MODERATELY DRAINED SOIL): HARD FESCUE
- CHEWING FESCUE STRONG CREEPING RED FESCUE PERENNIAL RYEGRASS

OPTIMUM SEEDING DATES: 8/15 - 10/30 (ZONE 7a, 7b)

ACCEPTABLE SEEDING DATES: 2/1 - 4/30 (ZONE 7a, 7b) SUMMER SEEDING DATES * ; 5/1 - 8/14 (ZONE 6b, 7a, 7b)

* NOTE: SUMMER SEEDING SHOULD ONLY BE CONDUCTED WHEN THE SITE IS IRRIGATED. MIXES INCLUDING WHITE CLOVER REQUIRE THAT AT LEAST SIX WEEKS OF GROWING SEASON REMAIN AFTER SEEDING TO ENDURE ESTABLISHMENT BEFORE FREEZING CONDITIONS.

- C. CONVENTIONAL SEEDING IS PERFORMED BY APPLYING SEED UNIFORMLY BY HAND, CYCLONE (CENTRIFUGAL) SEEDER, DROP SEEDER, DRILL OR CULTIPACKER SEEDER. EXCEPT FOR DRILLED, HYDROSEEDED OR CULTIPACKED SEEDINGS, SEED SHALL BE INCORPORATED INTO THE SOIL WITHIN 24 HOURS OF SEEDBED PREPARATION TO A DEPTH OF 1/4 TO 1/2 INCH, BY RAKING OR DRAGGING. DEPTH OF SEED PLACEMENT MAY BE 1/4 INCH DEEPER ON COARSE-TEXTURED SOIL.
- D. AFTER SEEDING, FIRMING THE SOIL WITH A CORRUGATED ROLLER WILL ASSURE GOOD SEED-TO-SOIL CONTACT, RESTORE CAPILLARITY, AND IMPROVE SEEDLING EMERGENCE. THIS IS THE PREFERRED METHOD. WHEN PERFORMED ON THE CONTOUR, SHEET EROSION WILL BE MINIMIZED AND WATER CONSERVATION ON SITE WILL BE MAXIMIZED
- E. HYDROSEEDING IS A BROADCAST SEEDING METHOD USUALLY INVOLVING A TRUCK, OR TRAILER-MOUNTED TANK. WITH AN AGITATION SYSTEM AND HYDRAULIC PUMP FOR MIXING SEED, WATER AND FERTILIZER AND SPRAYING THE MIX ONTO THE PREPARED SEEDBED. MULCH SHALL NOT BE INCLUDED IN THE TANK WITH SEED. SHORT-FIBERED MULCH MAY BE APPLIED WITH A HYDROSEEDER FOLLOWING SEEDING. (ALSO SEE SECTION 4 - MULCHING BELOW). HYDROSEEDING IS NOT A PREFERRED SEEDING METHOD BECAUSE SEED AND FERTILIZER ARE APPLIED TO THE SURFACE AND NOT INCORPORATED INTO THE SOIL. WHEN POOR SEED TO SOIL CONTACT OCCURS, THERE IS A REDUCED SEED GERMINATION AND GROWTH.
- MULCHING IS REQUIRED ON ALL SEEDING. MULCH WILL PROTECT AGAINST EROSION BEFORE GRASS IS ESTABLISHED AND WILL PROMOTE FASTER AND FARLIER ESTABLISHMENT. THE EXISTENCE OF VEGETATION SUFFICIENT TO CONTROL SOIL EROSION SHALL BE DEEMED COMPLIANCE WITH THIS MULCHING REQUIREMENT.
- A. STRAW OR HAY. UNROTTED SMALL GRAIN STRAW, HAY FREE OF SEEDS, TO BE APPLIED AT THE RATE OF 1-1/2 TO 2 TONS PER ACRE (70 TO 90 POUNDS PER 1 000 SOUARE FEET) EXCEPT THAT WHERE A CRIMPER IS USED INSTEAD OF A LIQUID MULCH-BINDER (TACKIFYING OR ADHESIVE AGENT), THE RATE OF APPLICATION IS 3 TONS PER ACRE. MULCH CHOPPER-BLOWERS MUST NOT GRIND THE MULCH. HAY MULCH IS NOT RECOMMENDED FOR ESTABLISHING FINE TURF OR LAWNS DUE TO THE PRESENCE OF WEED SEED.

APPLICATION - SPREAD MULCH UNIFORMLY BY HAND OR MECHANICALLY SO THAT AT LEAST 85% OF THE SOIL SURFACE IS COVERED. FOR UNIFORM DISTRIBUTION OF HAND-SPREAD MULCH, DIVIDE AREA INTO APPROXIMATELY 1,000 SQUARE FEET SECTIONS AND DISTRIBUTE 70 TO 90 POUNDS WITHIN EACH SECTION.

SPPP REQUIRED INSPECTIONS AND REPORTS MCNJ-SOIL-NOTE-1201

A COPY OF THE AUTHORIZATION SHALL BE POSTED ONSITE AT A SAFE, PUBLICLY ACCESSIBLE LOCATION IN CLOSE PROXIMITY OF THE CONSTRUCTION SITE AT ALL TIMES UNTIL A NOTICE OF COMPLETION HAS BEEN ISSUED. THE PERMITTEE SHALL POST THE NJDEP HOTLINE NUMBER (I-877-WARN-DEP) WITH THE COPY OF THE AUTHORIZATION. **ROUTINE INSPECTIONS**

05/01/1

- A. THE PERMITTEE SHALL CONDUCT AND DOCUMENT WEEKLY (MINIMUM) INSPECTIONS OF THE FACILITY TO IDENTIFY AREAS CONTRIBUTING TO TH STORMWATER DISCHARGE AUTHORIZED BY THIS PERMIT AND EVALUATE WHETHER THE STORMWATER POLLUTION PREVENTION PLAN (SPPP) IDENTIFIED UNDER E.I C THE CONSTRUCTION ACTIVITY STORMWATER (GP) PART I NARRATIV REQUIREMENTS, INCLUDING THIS SOIL EROSION AND SEDÍMENT CONTROL PLAN IS BEING PROPERLY IMPLEMENTED AND MAINTAINED, OR WHETHER ADDITIONAL MEASURES ARE NEEDED TO IMPLEMENT THE SPPP.
- B. ONCE INSTALLATION OF ANY REQUIRED OR OPTIONAL EROSION CONTROL DEVICE OR MEASURE HAS BEEN IMPLEMENTED, ROUTINE INSPECTIONS, MINIMUM WEEKLY, OI EACH MEASURE SHALL BE PERFORMED BY THE CONTRACTOR'S INSPECTION PERSONNEL AND THE RESULTS RECORDED TO INVENTORY AND REPORT TH CONDITION OF EACH MEASURE TO ASSIST IN MAINTAINING THE EROSION AND SEDIMENT CONTROL MEASURES IN GOOD WORKING ORDER.
- C. THESE REPORT FORMS SHALL BECOME AN INTEGRAL PART OF THE SPPP AND SHAL BE MADE READILY ACCESSIBLE TO GOVERNMENTAL INSPECTION OFFICIALS, TH OPERATOR'S ENGINEER, AND THE OPERATOR FOR REVIEW UPON REQUEST DURING VISITS TO THE PROJECT SITE. IN ADDITION, COPIES OF THE REPORTS SHALL B PROVIDED TO ANY OF THESE PERSONS, UPON REQUEST, VIA MAIL OR FACSIMILE TRANSMISSION
- D. OTHER RECORD-KEEPING REQUIREMENTS THE CONTRACTOR SHALL KEEP THE FOLLOWING RECORDS RELATED THE CONSTRUCTION ACTIVITIES AT THE SITE: DATES WHEN MAJOR GRADING ACTIVITIES OCCUR AND THE AREAS WHICH WERE
- GRADED - DATES AND DETAILS CONCERNING THE INSTALLATION OF STRUCTURAL CONTROLS DATES WHEN CONSTRUCTION ACTIVITIES CEASE IN AN AREA
- DATES WHEN AN AREAS IS STABILIZED, EITHER TEMPORARILY OR PERMANENTLY DATES OF RAINFALL AND THE AMOUNT OF RAINFALL DATES AND DESCRIPTIONS OF THE CHARACTER AND AMOUNT OF AN SPILLS OF
- HAZARDOUS MATERIALS RECORDS OF REPORTS FILED WITH REGULATORY AGENCIES IF REPORTABLE QUANTITIES OF HAZARDOUS MATERIALS SPILLED
- STORMWATER POLLUTION PREVENTION PLAN (SPPP) A. CONSTRUCTION ACTIVITY THAT MAY RESULT IN A STORMWATER DISCHARGE AUTHORIZED BY THIS PERMIT SHALL BE EXECUTED ONLY IN ACCORDANCE WITH A SPPP THAT CONSISTS OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN. AND (WHERE APPLICABLE) THE CONSTRUCTION SITE WASTE CONTROL COMPONENT SET FORTH IN ATTACHMENT B TO THE GENERAL PERMIT. A COPY OI THIS SPPP SHALL BE RETAINED BY THE PERMITTEE FOR A PERIOD OF AT LEAST FIVE (YEARS AFTER THE COMPLETION OF CONSTRUCTION. THIS PERIOD MAY BI EXTENDED BY WRITTEN REQUEST OF THE DEPARTMENT AT ANY TIME (SEE N.J.A.C
- REPORTS OF NONCOMPLIANCE
- A. ALL INSTANCES OF NONCOMPLIANCE NOT REPORTED UNDER N.J.A.C. 7:14A-6.10 SHALL BE REPORTED TO THE DEPARTMENT ANNUALLY. NOTIFICATION OF COMPLETION
- A. THE SOIL CONSERVATION DISTRICT WILL PROVIDE THE DEPARTMENT A COPY OF THE REPORT OF COMPLIANCE ISSUED UNDER N.J.A.C. 2:90-I FOR COMPLETED ONSTRUCTION ACTIVITIES. EXCEPT SINGLE FAMILY HOME CONSTRUCTION UNDE B. BELOW. THE REPORT OF COMPLIANCE SHALL SERVE AS THE NOTIFICATION OF COMPLETION
- B. THE BUILDER OF A SINGLE FAMILY HOME THAT IS AUTHORIZED UNDER THIS PERMIT, BUT NOT WITHIN THE DEFINITION OF "PROJECT AT N.I.S.A. 4:24-41G, SHALL SEND A COPY OF THE FINAL CERTIFICATE OF OCCUPANCY TO THE SOIL CONSERVATION DISTRICT. THE SOIL CONSERVATION DISTRICT WILL PROVIDE A COPY OF THE FINAL CERTIFICATE OF OCCUPANCY TO THE DEPARTMENT, WHICH WILL SERVE AS NOTIFICATION OF COMPLETION.
- C. THE DOT SHALL PROVIDE WRITTEN NOTIFICATION TO THE DEPARTMENT WHEN DOT CERTIFIED PROJECTS ARE COMPLETED. COPIES OF ALL OF THE ABOVE, INCLUDING THE SPPP (WITH THE CERTIFIED PLAN), THE CERTIFICATION. AUTHORIZATION UNDER NIPDES CONSTRUCTION ACTIVIT STORMWATER GENERAL PERMIT, ALL CORRESPONDENCE AND NOTES TO AND FROM THE NJDEP AND SOIL CONSERVATION DISTRICT (OR DESIGNATED MUNICIPALITY) SHALL BE MAINTAINED ON-SITE.

STANDARD FOR VEGETATIVE COVER

MCNJ-SOIL-NOTE-1100

- 265 LBS/ACRE 20 LBS/ACRE 20 LBS/ACRE 130 LBS/ACR 45 LBS/ACRE 45 LBS/ACRE 10 LBS/ACRE

- ANCHORING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT TO MINIMIZE

09/01/1

- LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS, DEPENDING UPON THE SIZE OF THE AREA. STEEPNESS OF SLOPES, AND COSTS. . PEG AND TWINE - DRIVE 8 TO 10 INCH WOODEN PEGS TO WITHIN 2 TO 3 INCHES
- OF THE SOIL SURFACE EVERY 4 FEET IN ALL DIRECTIONS. STAKES MAY BE DRIVEN BEFORE OR AFTER APPLYING MULCH. SECURE MULCH TO SOIL SURFACE BY STRETCHING TWINE BETWEEN PEGS IN A CRISS-CROSS AND A SQUARE PATTERN. SECURE TWINE AROUND EACH PEG WITH TWO OR MORE ROUND TURNS.
- 2. MULCH NETTINGS STAPLE PAPER, JUTE, COTTON, OR PLASTIC NETTINGS TO THE SOIL SURFACE. USE A DEGRADABLE NETTING IN AREAS TO BE MOWED.
- 3. CRIMPER (MULCH ANCHORING COULTER TOOL) A TRACTOR-DRAWN IMPLEMENT, SOMEWHAT LIKE A DISC HARROW, ESPECIALLY DESIGNED TO PUSH OR CUT SOME OF THE BROADCAST LONG FIBER MULCH 3 TO 4 INCHES INTO THE SOIL SO AS TO ANCHOR IT AND LEAVE PART STANDING UPRIGHT. THIS TECHNIQUE IS LIMITED TO AREAS TRAVERSABLE BY A TRACTOR, WHICH MUST OPERATE ON THE CONTOUR OF SLOPES. STRAW MULCH RATE MUST BE 3 TONS PER ACRE. NO TACKIFYING OR ADHESIVE AGENT IS REQUIRED.
- 4. LIQUID MULCH-BINDERS MAY BE USED TO ANCHOR SALT HAY, HAY OR STRAW

b. USE ONE OF THE FOLLOWING:

- a. APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND MAY CATCH THE MULCH, IN VALLEYS, AND AT CRESTS OF BANKS. THE REMAINDER OF THE AREA SHOULD BE UNIFORM IN APPEARANCE.
- I) ORGANIC AND VEGETABLE BASED BINDERS NATURALLY OCCURRING, POWDER-BASED, HYDROPHILIC MATERIALS WHEN MIXED WITH WATER FORMULATES A GEL AND WHEN APPLIED TO MULCH UNDER SATISFACTORY CURING CONDITIONS WILL FORM MEMBRANED NETWORKS OF INSOLUBLE POLYMERS THE VEGETABLE GEL SHALL BE PHYSIOLOGICALLY HARMLESS AND NOT RESULT IN A PHYTOTOXIC EFFECT OR IMPEDE GROWTH OF TURF GRASS. USE AT RATES AND WEATHER CONDITIONS AS RECOMMENDED BY THE MANUFACTURER TO ANCHOR MULCH MATERIALS. MANY NEW PRODUCTS ARE AVAILABLE, SOME OF WHICH MAY NEED FURTHER EVALUATION FOR USE IN THIS STATE.
- 2) SYNTHETIC BINDERS HIGH POLYMER SYNTHETIC EMULSION, MISCIBLE WITH WATER WHEN DILUTED AND, FOLLOWING APPLICATION OF MULCH, DRYING AND CURING, SHALL NO LONGER BE SOLUBLE OR DISPERSIBLE IN WATER BINDER SHALL BE APPLIED AT RATES RECOMMENDED BY THE MANUFACTURER AND REMAIN TACKY UNTIL GERMINATION OF GRASS.
- NOTE: ALL NAMES GIVEN ABOVE ARE REGISTERED TRADE NAMES. THIS DOES NOT CONSTITUTE A RECOMMENDATION OF THESE PRODUCTS TO THE EXCLUSION OF OTHER PRODUCTS.

THAT INSTANCE, TOPDRESS WITH 10-10-10 OR EQUIVALENT AT 300 LB PER ACRE OR 7 LB IS AMELIORATED

- MAINTENANCE FACTORS BE NEGLECTED OR OTHERWISE MISMANAGED.

C. PELLETIZED MULCH - COMPRESSED AND EXTRUDED PAPER AND/OR WOOD FIBER PRODUCT, WHICH MAY CONTAIN CO-POLYMERS, TACKIFIERS, FERTILIZERS, AND COLORING AGENTS. THE DRY PELLETS, WHEN APPLIED TO A SEEDED AREA AND WATERED, FORM A MULCH MAT. PELLETIZED MULCH SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. MULCH MAY BE APPLIED BY HAND OR MECHANICAL SPREADER AT THE RATE OF 60-75 LBS/1.000 SOUARE

B. WOOD-FIBER OR PAPER-FIBER MULCH - SHALL BE MADE FROM WOOD, PLANT FIBERS

OPTIMUM SEEDING PERIODS IN SPRING AND FALL

OR PAPER CONTAINING NO GROWTH OR GERMINATION INHIBITING MATERIALS, USED

AT THE RATE OF 1.500 POUNDS PER ACRE (OR AS RECOMMENDED BY THE PRODUCT

MANUFACTURER) AND MAY BE APPLIED BY A HYDROSEEDER. MULCH SHALL NOT BE

MIXED IN THE TANK WITH SEED. USE IS LIMITED TO FLATTER SLOPES AND DURING

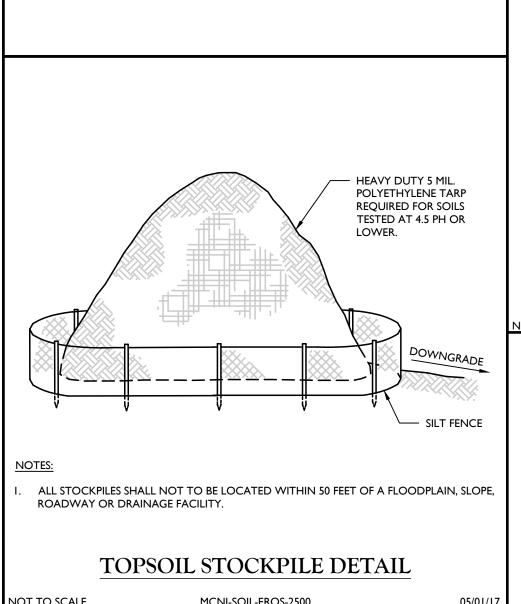
- FEET AND ACTIVATED WITH 0.2 TO 0.4 INCHES OF WATER. THIS MATERIAL HAS BEEN FOUND TO BE BENEFICIAL FOR USE ON SMALL LAWN OR RENOVATION AREAS, SEEDED AREAS WHERE WEED- SEED FREE MULCH IS DESIRED. OR ON SITES WHERE STRAW MULCH AND TACKIFIER AGENT ARE NOT PRACTICAL OR DESIRABLE. APPLYING THE FUIL 0.2 TO 0.4 INCHES OF WATER AFTER SPREADING PELLETIZED MULCH ON THE SEE BED IS EXTREMELY IMPORTANT FOR SUFFICIENT ACTIVATION AND EXPANSION OF THE MULCH TO PROVIDE SOIL COVERAGE.
- . IRRIGATION (WHERE FEASIBLE): IF SOIL MOISTURE IS DEFICIENT SUPPLY NEW SEEDING WITH ADEQUATE WATER (A MINIMUM OF 1/4 INCH APPLIED UP TO TWICE A DAY UNTIL VEGETATION IS WELL ESTABLISHED). THIS IS ESPECIALLY TRUE WHEN SEEDINGS ARE MADE IN ABNORMALLY DRY OR HOT WEATHER OR ON DROUGHTY SITES.
- NO FOLLOW-UP TOPDRESSING IS MANDATORY UNLESS WHERE GROSS NITROGEN DIFICIENCY EXISTS IN THE SOIL TO THE EXTENT THAT TURF FAILURE MAY DEVELOP. IN

DUST CONTROL

MCNJ-SOIL-NOTE-1400 UST CONTROL METHODS APPLY MULCHES OR VEGETATIVE COVER AS PER NJ SOIL EROSION AND SEDIMENT CONTROL STANDARDS.

- TILL AND ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART AND SPRING-TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT. SPRINKLE THE SITE UNTIL THE SURFACE IS WET.
- ERECT BARRIERS SUCH AS SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY AND SIMILAR MATERIAL TO CONTROL AIR CURRENTS AND SOIL BLOWING.
- APPLY CALCIUM CHLORIDE IN THE FORM OF LOOSE, DRY GRANULES OR FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. NOT SUITABLE ON STEEPER SLOPES NEAR THE STREAMS OR POTENTIALLY ACCUMULATE AROUND PLANTS.
- COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.
- USE SPRAY-ON ADHESIVE ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS). KEEP TRAFFIC OFF THESE AREAS. MATERIALS AS FOLLOWS:

MATERIAL	WATER DILUTION	TYPE OF NOZZLE	APPLY GALLONS/ACRE		
ANIONIC ASPHALT EMULSION	7:1	COARSE SPRAY	1200		
LATEX EMULSION	12.5:1	FINE SPRAY	235		
RESIN IN WATER	4:1	FINE SPRAY	300		
POLYACRYLAMIDE (PAM) - SPRAY ON POLYACRYLAMIDE (PAM) - DRY SPREAD	INSTRUCTIONS SEDIMENT BAS	DING TO MANUFACTUI S. MAY ALSO BE USED A INS TO FLOCCULATE AI DLLOIDS. SEE SEDIMENT	S AN ADDITIVE TO ND PRECIPITATE		
ACIDULATED SOY BEAN SOAP STICK	NONE	COARSE SPRAY	1200		

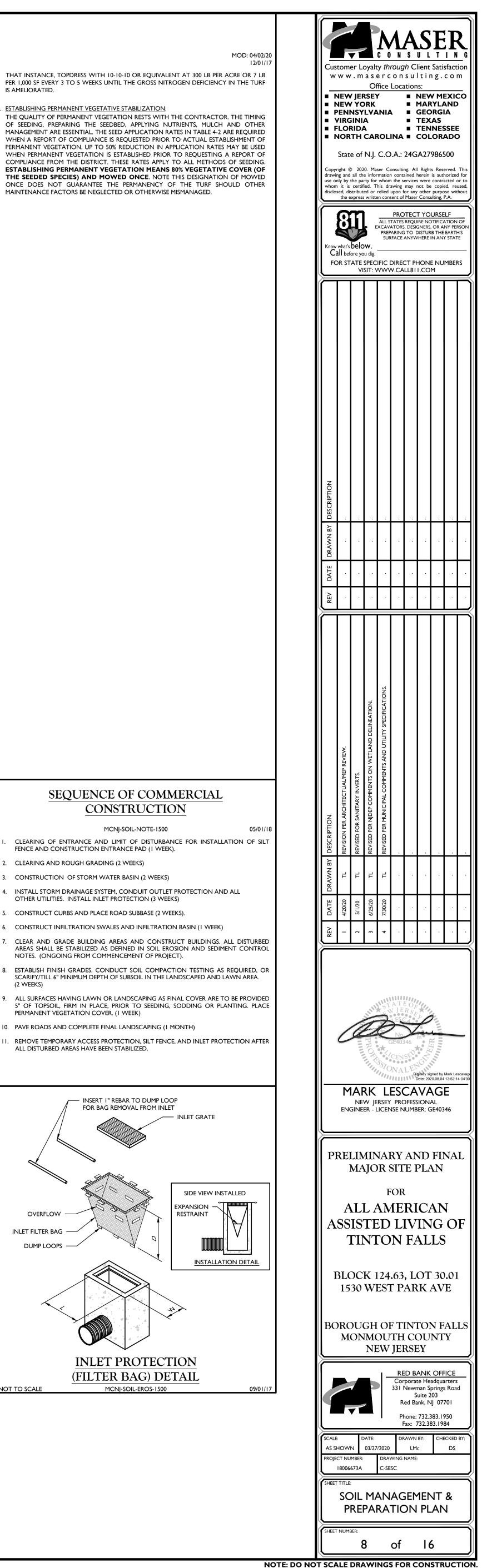


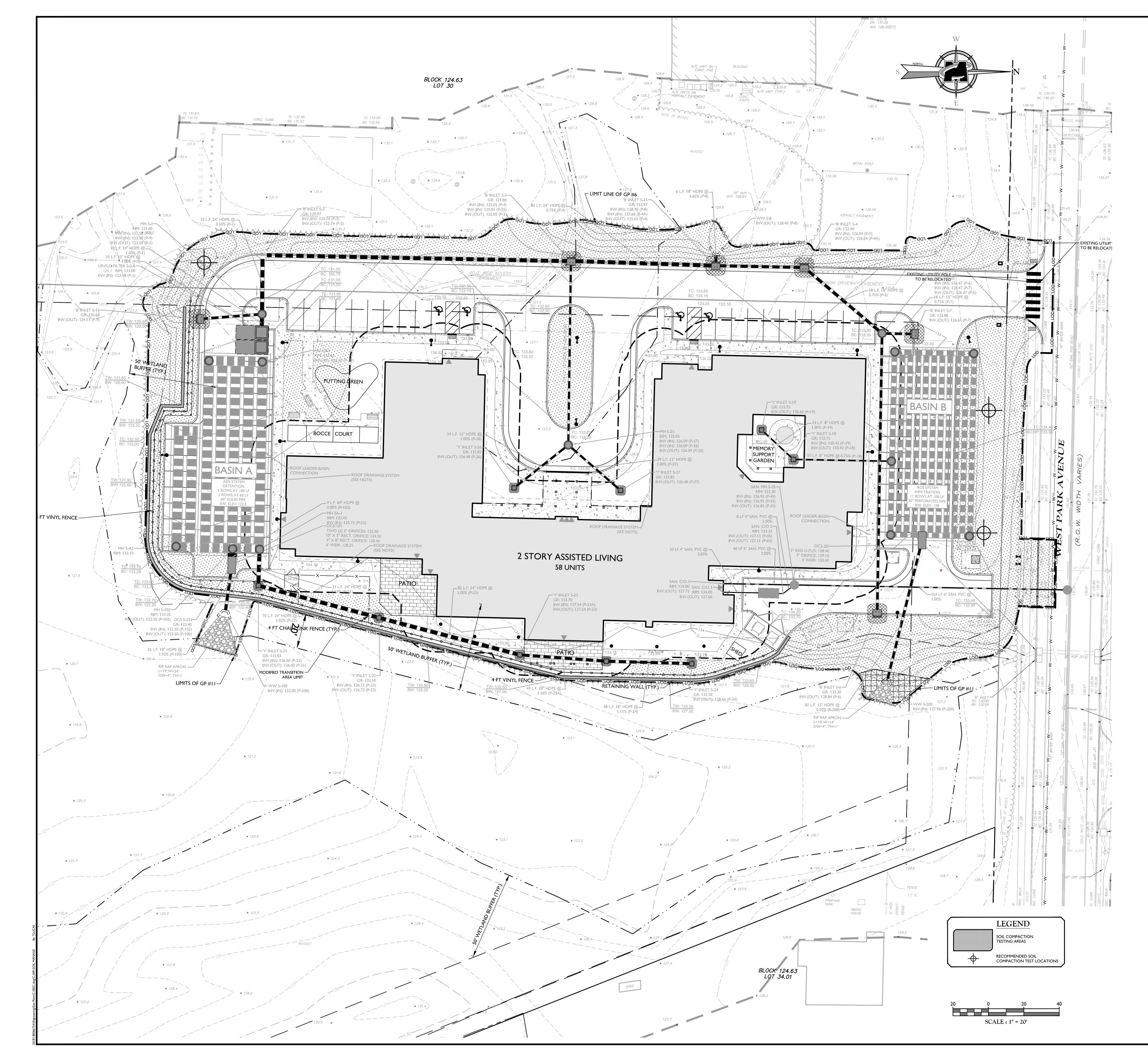


- CLEARING AND ROUGH GRADING (2 WEEKS)

05/01/17

- CONSTRUCTION OF STORM WATER BASIN (2 WEEKS)
- OTHER UTILITIES. INSTALL INLET PROTECTION (3 WEEKS)
- CONSTRUCT CURBS AND PLACE ROAD SUBBASE (2 WEEKS).
- NOTES. (ONGOING FROM COMMENCEMENT OF PROJECT).
- (2 WEEKS)
- PERMANENT VEGETATION COVER. (I WEEK)
- PAVE ROADS AND COMPLETE FINAL LANDSCAPING (I MONTH)
- ALL DISTURBED AREAS HAVE BEEN STABILIZED.

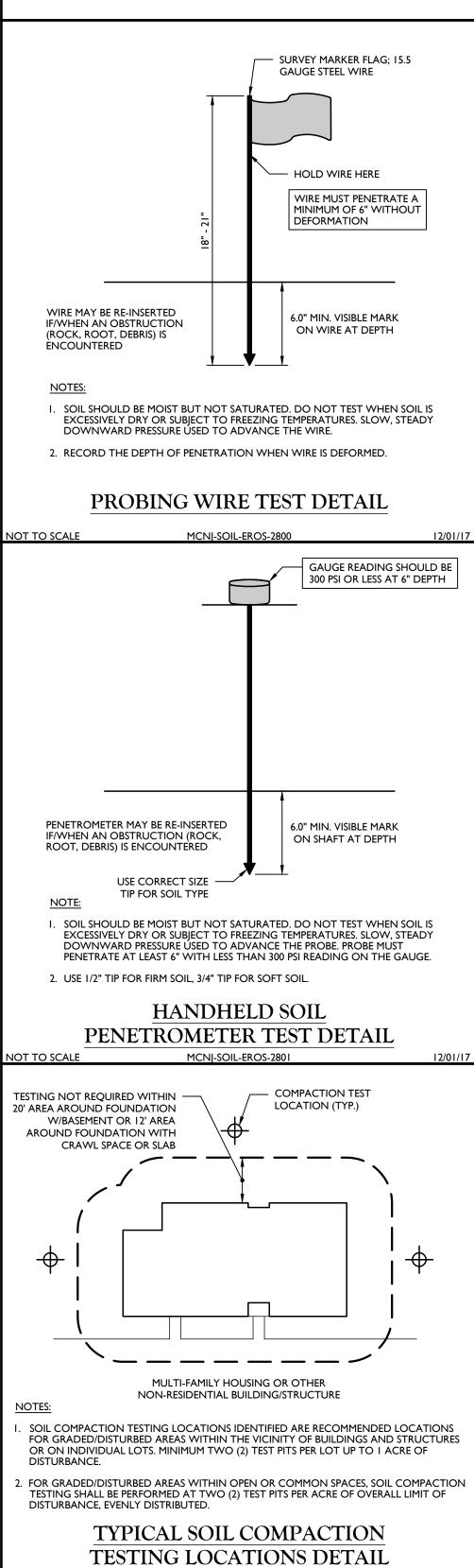




SOIL DECOMPACTION AND TESTING REQUIREMENTS

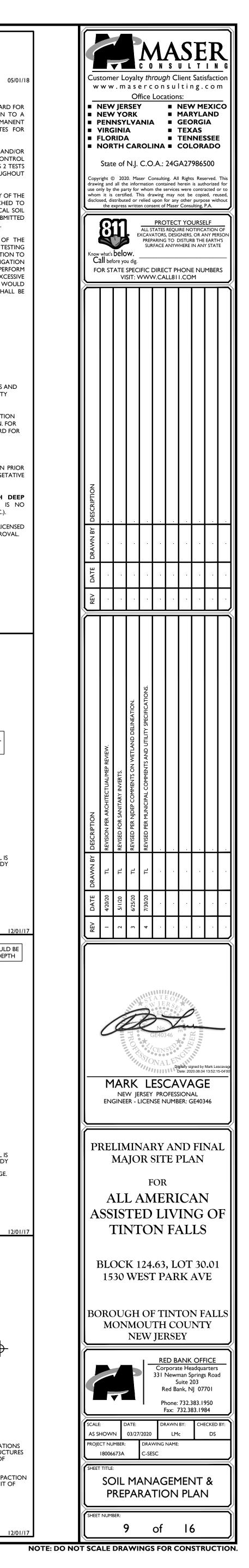
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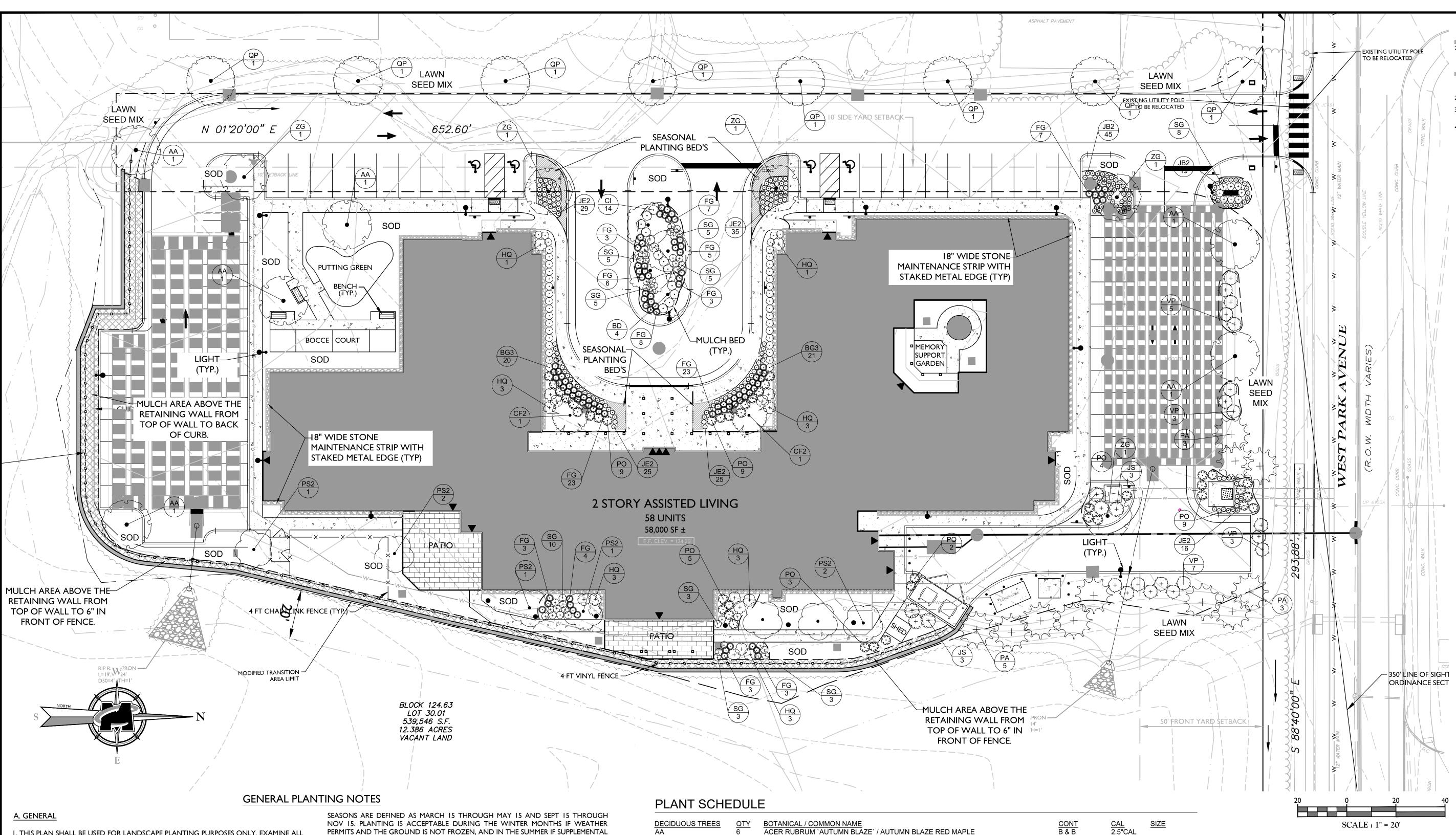
- A. <u>SOIL COMPACTION TESTING REQUIREMENTS</u>
 I. SUBGRADE SOILS **PRIOR TO THE APPLICATION OF TOPSOIL** "STANDARD FOR VEGETATIVE COVER" NOTES SHALL BE FREE OF EXCESSIVE COMPACTION TO A **DEPTH OF 6.0 INCHES** TO ENHANCE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER (SEE "STANDARD FOR VEGETATIVE COVER" NOTES FOR TOPSOIL REQUIREMENTS).
- 2. AREAS OF THE SITE WHICH ARE SUBJECT TO COMPACTION TESTING AND/OR MITIGATION ARE **GRAPHICALLY DENOTED** ON THE SOIL EROSION CONTROL PLAN. MINIMUM 2 TESTS FOR LIMIT OF DISTURBANCE UP TO I ACRE, PLUS 2 TESTS PER ACRE OF LIMIT OF DISTURBANCE THEREAFTER, SPACED EVENLY THROUGHOUT THE SITE.
- 3. COMPACTION TESTING LOCATIONS ARE DENOTED ON THE PLAN. A COPY OF THE PLAN SHALL BE USED TO MARK THE LOCATIONS OF TESTS AND ATTACHED TO THE **COMPACTION REMEDIATION FORM**, AVAILABLE FROM THE LOCAL SOIL CONSERVATION DISTRICT. THIS FORM MUST BE FILLED OUT AND SUBMITTED PRIOR TO RECEIVING A CERTIFICATE OF COMPLIANCE FROM THE DISTRICT.
- 4. IN THE EVENT THAT TESTING INDICATES COMPACTION IN EXCESS OF THE MAXIMUM THRESHOLDS INDICATED FOR THE PROBING OR PENETRATION TESTING METHODS (SEE DETAILS), THE CONTRACTOR/OWNER SHALL HAVE THE OPTION TO PERFORM EITHER (I) COMPACTION MITIGATION OVER THE ENTIRE MITIGATION AREA DENOTED ON THE PLAN (EXCLUDING EXEMPT AREAS), OR (2) PERFORM ADDITIONAL DENSITY TESTING TO ESTABLISH THE LIMITS OF EXCESSIVE COMPACTION WHEREUPON ONLY THE EXCESSIVELY COMPACTED AREAS WOULD REQUIRE COMPACTION MITIGATION. ADDITIONAL DENSITY TESTING SHALL BE PERFORMED BY A TRAINED, LICENSED PROFESSIONAL.
- B. <u>COMPACTION TESTING METHODS</u>
- PROBING WIRE TEST (SEE DETAIL)
 HANDHELD PENETROMETER TEST (SEE DETAIL).
- 3. TUBE BULK DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)
- 4. NUCLEAR DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)
- 5. ADDITIONAL TESTING METHODS WHICH CONFORM TO ASTM STANDARDS AND SPECIFICATIONS, AND WHICH PRODUCE A DRY WEIGHT, SOIL BULK DENSITY
- MEASUREMENT MAY BE ALLOWED SUBJECT TO DISTRICT APPROVAL. NOTE: SOIL COMPACTION TESTING IS NOT REQUIRED IF/WHEN SUBSOIL COMPACTION
- MITIGATION IS PROPOSED AS PART OF THE SEQUENCE OF CONSTRUCTION. FOR ADDITIONAL REQUIREMENTS AND EXEMPTIONS SEE SECTION 19 "STANDARD FOR LAND GRADING" OF THE STANDARD.
- PROCEDURES FOR SOIL COMPACTION MITIGATION
- PROCEDURES SHALL BE USED TO MITIGATE EXCESSIVE SOIL COMPACTION PRIOR TO PLACEMENT OF TOPSOIL AND ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
 RESTORATION OF COMPACTED SOILS SHALL BE THROUGH DEEP
- SCARIFICATION/TILLAGE (6" MINIMUM DEPTH) WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.).
 IN THE ALTERNATIVE, ANOTHER METHOD AS SPECIFIED BY A NEW JERSEY LICENSED
- 3. IN THE ALTERNATIVE, ANOTHER METHOD AS SPECIFIED BY A NEW JERSET LICENSEL PROFESSIONAL ENGINEER MAY BE SUBSTITUTED SUBJECT TO DISTRICT APPROVAL.



MCNJ-SOIL-EROS-2802

NOT TO SCALE





- . THIS PLAN SHALL BE USED FOR LANDSCAPE PLANTING PURPOSES ONLY. EXAMINE ALL ENGINEERING DRAWINGS AND FIELD CONDITIONS FOR SPECIFIC LOCATIONS OF UTILITIES AND STRUCTURES. NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES OR LOCATION CONFLICTS PRIOR TO PLANTING INSTALLATION.
- . THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UTILITIES MARKOUTS AND COMPLIANCE WITH ALL FEDERAL, STATE, OR LOCAL CODES, LAWFUL ORDERS OR REGULATIONS GOVERNING UPON THIS WORK. 3. OWNER OR HIS/HER REPRESENTATIVE SHALL BE NOTIFIED PRIOR TO BEGINNING
- PLANTING OPERATIONS. 4. ROUTINE MAINTENANCE OF SHADE TREES SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. ANY LANDSCAPING THAT DIES WITHIN 2 YEARS OF PLANTING,
- FOR ANY REASON, SHALL BE REPLACED BY THE DEVELOPER OR BY THE CURRENT OWNER AT THEIR SOLE EXPENSE

B. PLANT MATERIAL

- . PLANT MATERIA A. PLANT MATERIAL SHALL CONFORM WITH THE ANSI Z60.1-2004 'AMERICAN STANDARD FOR NURSERY STOCK' AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION (ANLA) IN REGARD TO QUALITY, SIZE OF PLANTING, SPREAD OF ROOTS, SIZE OF ROOTBALL, AND BRANCHING PATTERN. B. PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, HAVE NORMAL GROWTH HABITS, WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS, AND FREE FROM DEFECTS, INJURY, DISEASE, AND/OR INFESTATION, WITH ROOT BALLS INTACT C. ALL PLANT MATERIAL SHALL BEAR THE SAME RELATION TO FINISHED GRADE
- AT THE NURSERY. THE PLANT MATERIAL SHALL BE PLANTED AT THE SAME LEVEL WHEN PLANTED. D. PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY TO THE SITE.
- IN THE EVENT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL TAKE APPROPRIATE STEPS TO PROTECT THE PLANT MATERIAL FROM DAMAGE PRIOR TO INSTALLATION. E. THE LANDSCAPE ARCHITECT OR OWNER SHALL HAVE THE RIGHT, AT ANY
- STAGE OF THE OPERATION, TO REJECT ANY AND ALL PLANT MATERIAL WHICH IN THEIR OPINION DOES NOT MEET THE REQUIREMENTS OF THESE PLANS. 2. PLANT QUANTITIES: THE LANDSCAPE PLAN SHOULD TAKE PRECEDENCE OVER THE
- PLANT SCHEDULE IF ANY PLANT DISCREPANCIES OCCUR. 3. PLANT SIZE: THE CONTRACTOR SHALL FURNISH PLANT MATERIAL IN THE CALIPER,
- HEIGHT, SIZE OR SPREAD INDICATED IN THE PLANT SCHEDULE. 4. SUBSTITUTIONS: NO PLANT SUBSTITUTIONS SHALL BE PERMITTED WITH REGARD TO SIZE, SPECIES, OR VARIETY WITHOUT WRITTEN PERMISSIONS OF THE MUNICIPALITY,
- LANDSCAPE ARCHITECT, OR OWNER. WRITTEN PROOF OF THE PLANT MATERIAL UNAVAILABILITY MUST BY DOCUMENTED BY THE CONTRACTOR. 5. GUARANTEE: PLANT MATERIAL SHALL BE GUARANTEED FOR TWO (2) YEARS AFTER THE DATE OF FINAL ACCEPTANCE. ANY PLANT MATERIAL THAT IS DEAD OR DYING WITHIN THAT TIME PERIOD SHALL BE REMOVED, INCLUDING STUMP, AND REPLACED WITH A SIMILAR SIZE AND SPECIES AT THE EXPENSE OF THE DEVELOPER OR OWNER. TREE STAKES AND PLASTIC CHAINS SHALL BE REMOVED AT THE END OF THE TWO

C. PLANTING PROCEDURES

YEAR GUARANTEE PERIOD.

I. PLANTING BEDS:

- A. PROVIDE PLANTING PITS AS INDICATED ON PLANTING DETAILS. BACKFILL PLANTING PITS WITH WELL DRAINING AND FERTILE SOILS. SOILS SHALL BE SANDY LOAM, FREE FROM DEBRIS, ROCKS, ETC. SOIL TO BE ONE PART EACH OF TOPSOIL, MOISTENED PEAT MOSS, AND PARENT MATERIAL. B. PLANTING BEDS SHALL RECEIVE FOUR (4) TO SIX (6) INCHES OF DOUBLE SHREDDED HARDWOOD MULCH AND TREATED WITH A PRE-EMERGENT HERBICIDE. NO MULCH SHALL COME IN DIRECT CONTACT WITH ROOT FLARE/COLLAR; UNDER NO CIRCUMSTANCES SHALL THE ROOT CROWN BE BURIED.
- C. SHRUB MASSES SHALL BE PLANTED IN CONTINUOUS MULCHED BEDS. 2. PLANT LOCATIONS: THE LOCATION OF ALL PLANT MATERIAL INDICATED ON THE LANDSCAPE PLANS ARE APPROXIMATE. THE FINAL LOCATION OF ALL PLANT MATERIAL AND PLANTING BEDLINES SHALL BE DETERMINED IN THE FIELD AT THE TIME OF INSTALLATION FOLLOWING THE BASIC INTENT OF THE APPROVED PLANS, UNLESS THERE IS A SPECIFIC DIMENSION OR LOCATION SHOWN. 3. PLANTING DATES: PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE

SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICES. PLANTING

- PERMITS AND THE GROUND IS NOT FROZEN, AND IN THE SUMMER IF SUPPLEMENTAL WATERING IS PROVIDED. SOIL MUST BE FROST FREE, FRIABLE, AND NOT MUDDY AT TIME OF PLANTING.
- 4. PLANTING METHODS A. TREES SHALL BE SUPPORTED IMMEDIATELY AFTER PLANTING. PLANT MATERIAL SHALL BE PROPERLY GUYED, STAKED, AND PLANTED IN CONFORMANCE WITH THE TYPICAL PLANTING DETAILS. (1) STAKES SHALL BE EIGHT TO TEN FEET LONG, OF SOUND, DURABLE
 - UNFINISHED LUMBER CAPABLE OF WITHSTANDING ABOVEGROUND AND UNDERGROUND CONDITIONS DURING THE PERIOD OF GUARANTEE WITH TOP AND BOTTOM DIMENSIONS OF TWO INCHES BY TWO INCHES IN DIAMETER
 - (2) THREE STAKES SHALL BE EQUALLY SPACED ABOUT THE TREE IN A TRIANGULAR FASHION AND SHALL BE DRIVEN VERTICALLY INTO THE GROUND 2 $\frac{1}{2}$ TO 3 FEET IN A MANNER THAT DOES NOT INJURE THE ROOT BALL
- (3) TREES SHALL BE FASTENED TO EACH STAKE AT A HEIGHT OF FIVE FEET BY MEANS OF PLASTIC CHAIN LINK TREE TIE $\left(\frac{7}{16}\right)^{-1}$ WIDE RECOMMENDED FOR TREES UP TO $2\frac{1}{2}$ INCHES IN CALIPER). B. SET PLANTS PLUMB AND STRAIGHT. SET AT SUCH LEVEL THAT AFTER
- SETTLEMENT A NORMAL OR NATURAL RELATIONSHIP TO THE CROWN OF THE PLANT WITH THE GROUND SURFACE WILL BE ESTABLISHED. LOCATE PLANTS IN CENTER OF PIT. C. AT TIME OF INSTALLATION, THE CONTRACTOR SHALL WATER NEWLY INSTALLED PLANT MATERIAL. THE CONTRACTOR SHALL PROVIDE REGULAR
- WATERING TO ENSURE THE ESTABLISHMENT, GROWTH, AND SURVIVAL OF ALL PLANTS. D. B&B PLANTS SHALL BE HANDLED FROM THE BOTTOM OF THE ROOTBALL
- ONLY. PLANTS WITH BROKEN, SPLIT, OR DAMAGED ROOTBALLS SHALL BE REJECTED. E. CORD BINDING OF ALL B&B PLANTS SHALL BE CUT AND REMOVED, ALONG WITH THE BURLAP OF THE UPPER $\frac{1}{2}$ OF THE ROOT BALL. ALL WIRE BASKETS ARE

TO BE REMOVED PRIOR TO BACKFILLING PLANTING PIT.

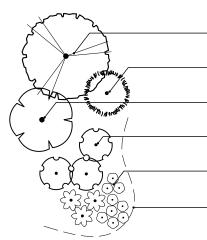
D. MAINTENANCE

- A. EACH TREE AND SHRUB SHALL BE PRUNED IN ACCORDANCE WITH THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. ALL DEAD WOOD OR SUCKERS AND ALL BROKEN OR BADLY BRUISED BRANCHES SHALL BE REMOVED. PRUNING SHALL BE DONE WITH CLEAN, SHARP TOOLS. B. SHADE TREES PLANTED NEAR PEDESTRIAN OR VEHICULAR ACCESS SHOULD NOT BE BRANCHED LOWER THAN 7'-0" ABOVE GRADE. PLANT MATERIAL LOCATED WITHIN SIGHT TRIANGLE EASEMENTS SHALL NOT EXCEED A MATURE HEIGHT OF 30" ABOVE THE ELEVATION OF THE ADJACENT CURB. STREET TREES PLANTED IN SIGHT TRIANGLE EASEMENTS SHALL BE PRUNED TO NOT TO HAVE BRANCHES BELOW 7'-0".
- C. THE CENTRAL LEADER SHALL NOT BE CUT OR DAMAGED. . LAWN AREAS:
- A. THE LANDSCAPE CONTRACTOR SHALL TEST THE SOIL TO CONFIRM SUITABILITY FOR THE PROPOSED SEED MIX AND SUPPLEMENT AS REQUIRED TO MEET THE REQUIRED PH & NUTRIENT LEVELS. B. ALL DISTURBED AREAS SHALL BE STABILIZED WITH SEED UNLESS OTHERWISE INDICATED ON THE LANDSCAPE PLANS. SEED SHALL BE IN ACCORDANCE WITH THE SOIL EROSION AND SEDIMENT CONTROL DISTRICT'S SEED SPECIFICATIONS AS NOTED ON THE SOIL EROSION AND SEDIMENT CONTROL DETAILS SHEET.
- C. SOD, IF SPECIFIED, SHALL CONSIST OF A NEW JERSEY CERTIFIED MIXTURE. ALL DISTURBED AREAS INDICATED AS LAWN OR SOD SHALL BE TOPSOILED, LIMED, AND FERTILIZED & FINE GRADED PRIOR TO LAWN INSTALLATION. . EXISTING VEGETATION: EXISTING TREES AND SHRUBS TO BE PRESERVED ON SITE SHALL BE PROTECTED AGAINST CONSTRUCTION DAMAGE BY SNOW FENCING. FENCING SHALL BE PLACED OUTSIDE THE INDIVIDUAL TREE CANOPY. TREES TO
- REMAIN SHALL BE IDENTIFIED IN THE FIELD PRIOR TO COMMENCEMENT OF CONSTRUCTION. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION, GRADING, OR CLEARING. EXISTING VEGETATION BEING PRESERVED AND LOCATED AT THE EDGE OF THE NEW TREELINE SHALL BE PRUNED AND TRIMMED TO REMOVE ALL DEAD, DAMAGED, OR DISEASED BRANCHES.
- 4. <u>SITE CLEANUP</u>: PLANTING DEBRIS (WIRE, TWINE, RUBBERHOSE, BACKFILL, ETC.) SHALL BE REMOVED FROM THE SITE AFTER PLANTING IS COMPLETE. THE PROPERTY IS TO BE LEFT IN A NEAT, ORDERLY CONDITION IN ACCORDANCE WITH ACCEPTED PLANTING PRACTICES.

CI

B & B BETULA NIGRA `DURAHEAT` / DURAHEAT RIVER BIRCH MULTI-TRUNK 1.5"CAL CF2 CORNUS FLORIDA / EASTERN DOGWOOD B & B 1.5"CAL PS2 PRUNUS X `SNOW GOOSE` / SNOW GOOSE CHERRY B & B 2.5"CAL QP QUERCUS PHELLOS / WILLOW OAK B & B 2.5"CAL ZELKOVA SERRATA `GREEN VASE` / SAWLEAF ZELKOVA B & B ZG CAL EVERGREEN TREES BOTANICAL / COMMON NAME B&B PICEA ABIES / NORWAY SPRUCE **BOTANICAL / COMMON NAME** 18"-24" MIN. BG3 BUXUS X 'GREEN GEM' / GREEN GEM BOXWOOD CORNUS SERICEA 'IVORY HALO' / VARIEGATED REDTWIG DOGWOOD 24"-30" MIN 14 FG FOTHERGILLA GARDENII / DWARF FOTHERGILLA 18"-24" MIN. 102 HYDRANGEA QUERCIFOLIA / OAKLEAF HYDRANGEA 24"-30" MIN JUNIPERUS HORIZONTALIS `BLUE CHIP` / BLUE CHIP JUNIPER 2 GAL JB2 63 JUNIPERUS HORIZONTALIS `EMERALD SPREADER` / EMERALD SPREADER JUNIPER 2 GAL JE2 130 JUNIPERUS X PFITZERIANA `SEA GREEN` / SEA GREEN JUNIPER 24"-30" MIN. PRUNUS LAUROCERASUS `OTTO LUYKEN` / LUYKENS LAUREL 24"-30" MIN. PO 41 SPIRAEA JAPONICA `GOLDMOUND` / GOLDMOUND SPIREA 18"-24" MIN. 53 VIBURNUM X PRAGENSE / PRAGUE VIBURNUM 36"-48" MIN

LANDSCAPE LEGEND



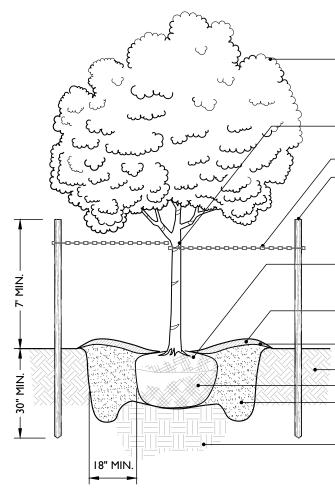
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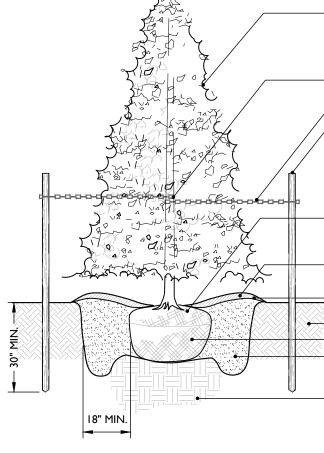
<u>SIZ</u> 6`-8

- DECIDUOUS TREE - EVERGREEN TREE ORNAMENTAL OR UNDERSTORY TREE SHRUB PERENNIAL / ANNUAL / ORNAMENTAL GRASS MULCH BED LINE

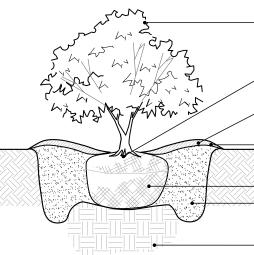
- PLANT LOCATIONS INDICATED ON THE LANDSCAPE PLAN ARE APPROXIMATE; ACTUAL LOCATION OF PLANT MATERIAL IS SUBJECT TO SITE CONDITIONS. PRIOR TO INSTALLATION, PLANT LOCATIONS AND PLANTING BED LIMITS SHALL BE APPROVED IN THE FIELD UNDE THE DIRECTION OF THE LANDSCAPE ARCHITECT AND/OR THE BOROUGH ENGINEER OR PLANNER.
- LAWN AREAS SHALL BE STABILIZED WITH SEED UNLESS OTHERWISE INDICATED ON THE PLAN. REFER TO THE SOIL EROSION AN SEDIMENT CONTROL PLAN FOR APPROVED SEED MIXTURES.
- ALL SHADE TREES PLANTED ADJACENT TO PEDESTRIAN WALKWAYS, VEHICLE ACCESSES, OR WITHIN A SIGHT TRIANGLE OR SIGHT EASEMENT SHALL BE BRANCHED A MINIMUM OF 7'-00" ABOVE GRADE AND/OR APPROPRIATELY PRUNED TO BE 7'-00" ABOVE GRADE. AL

ARE TO BE APPROPRIATELY PRUNED.

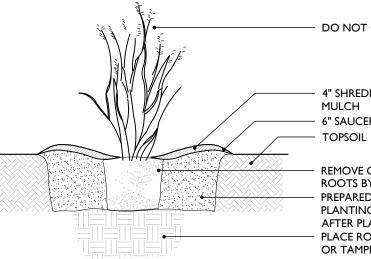




MULCH

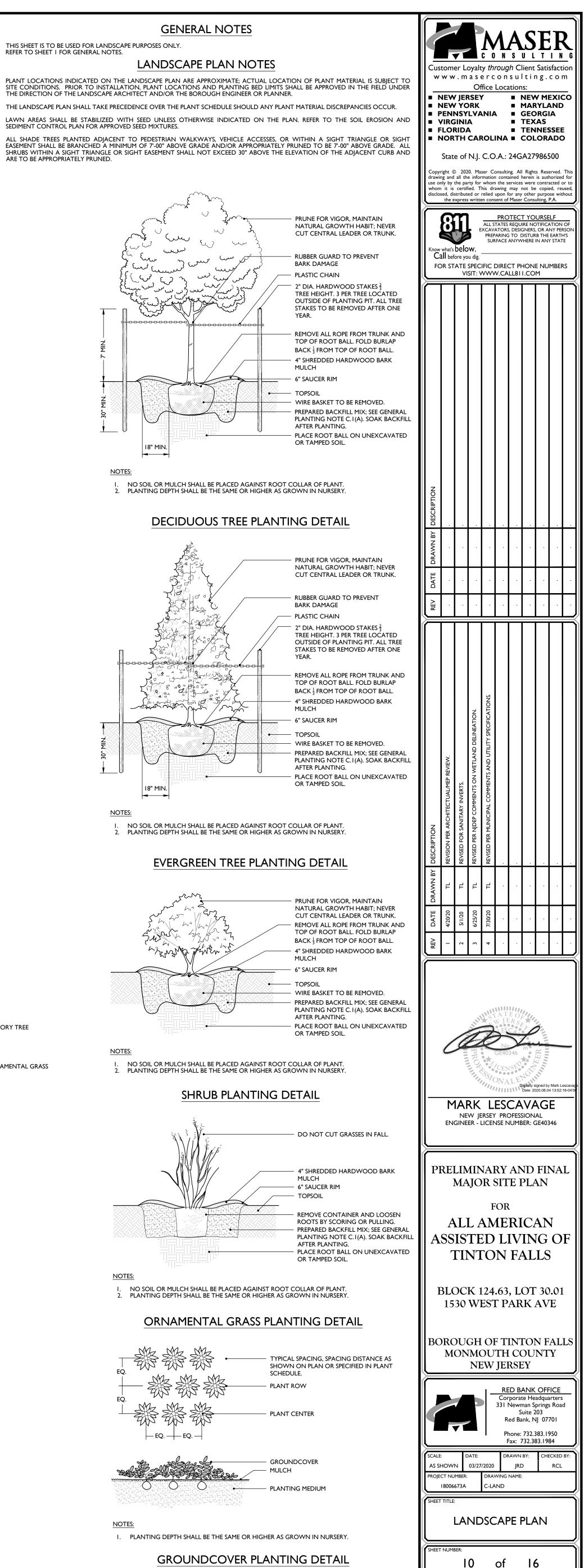


MULCH AFTER PLANTING.



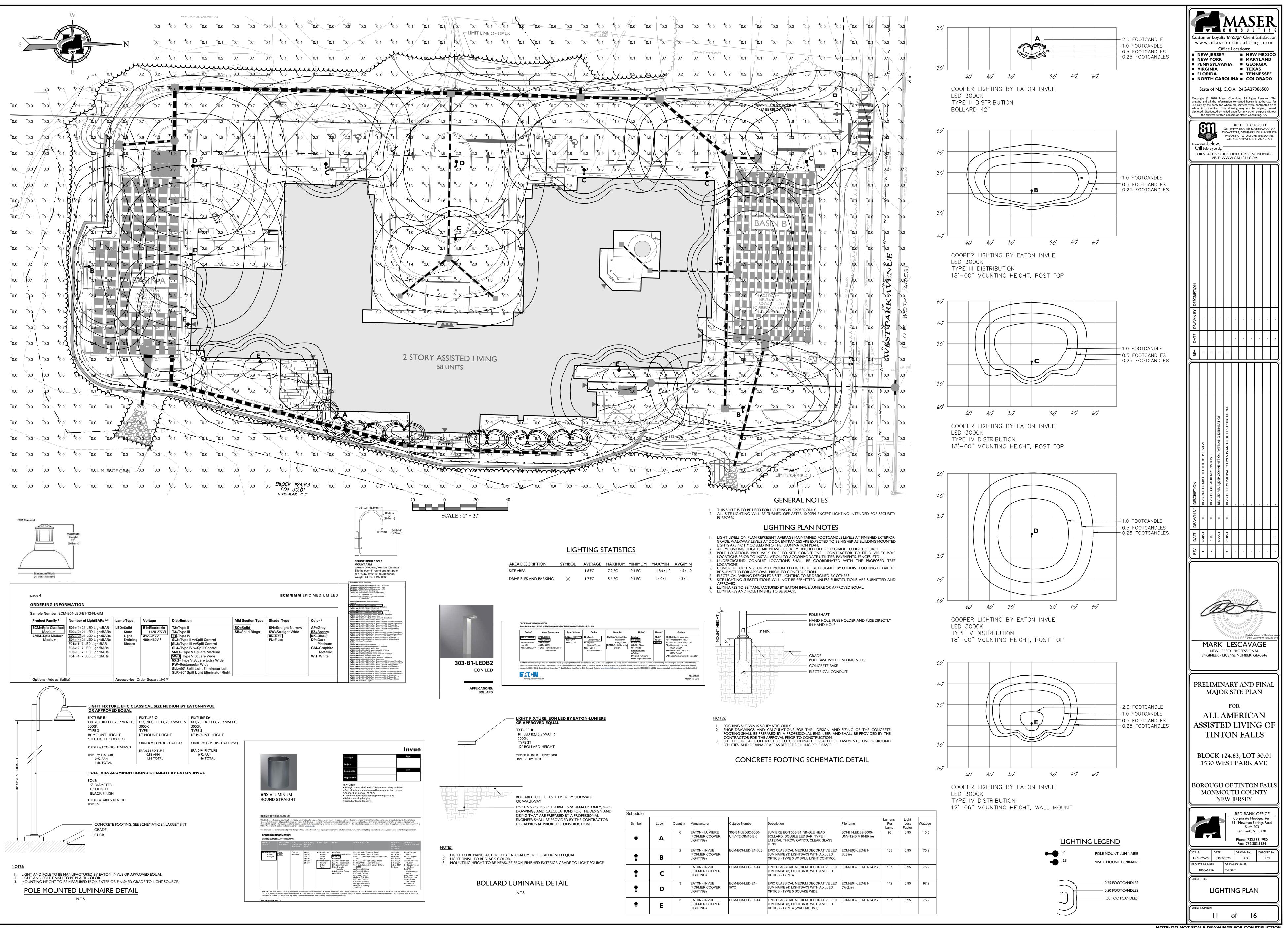
AFTER PLANTING OR TAMPED SOIL.

NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT

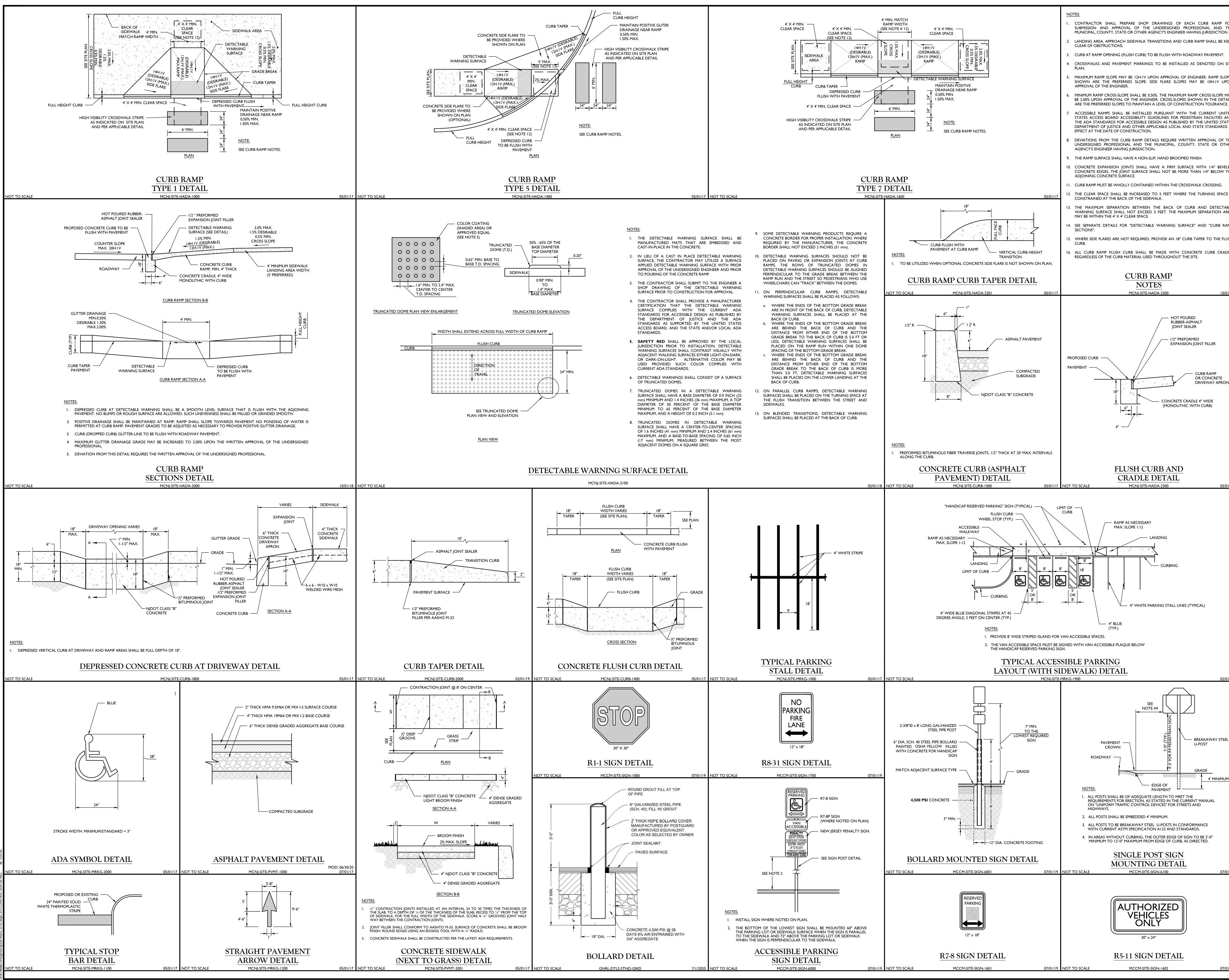


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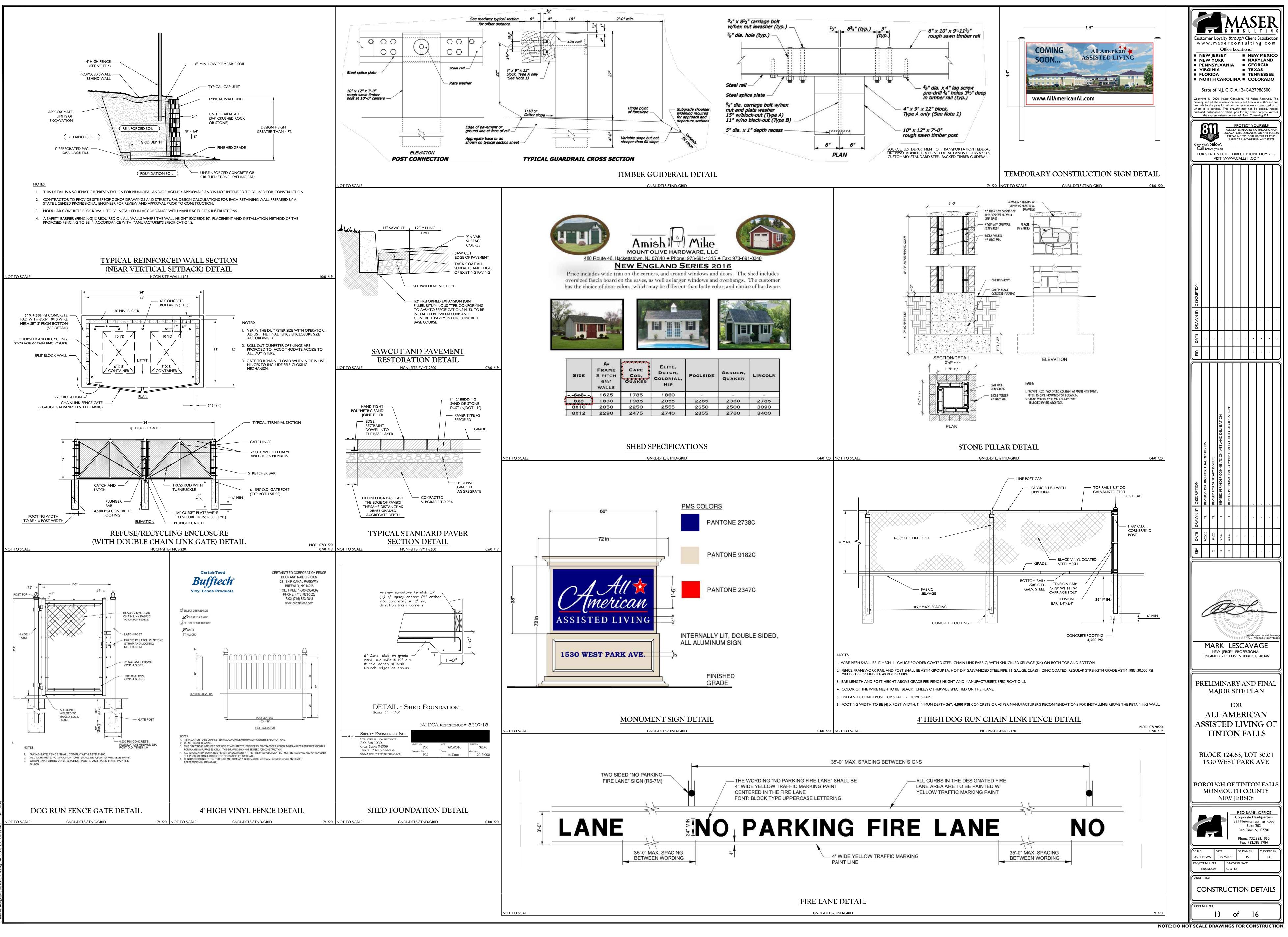
NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION

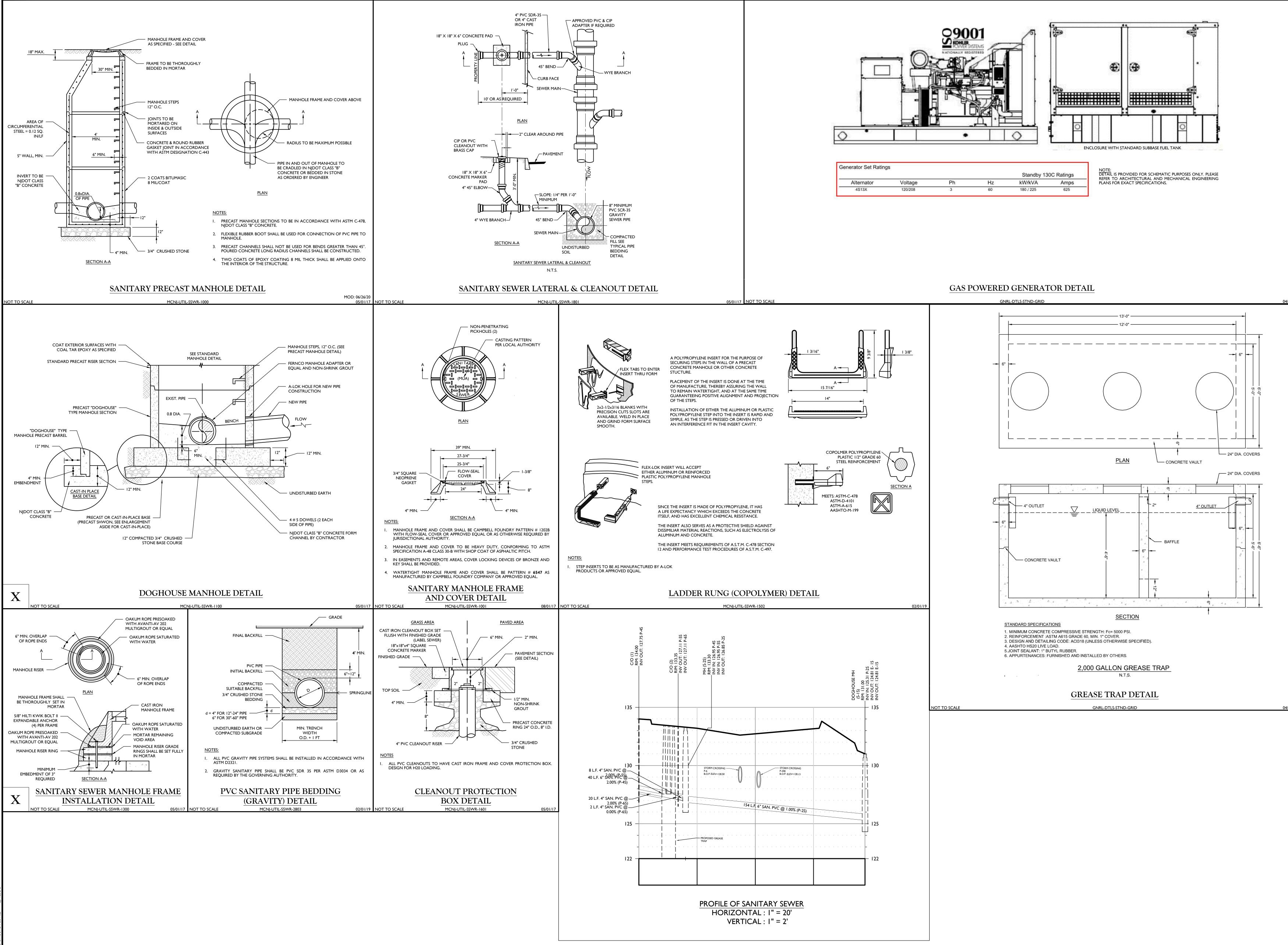


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