

1. BOUNDARY SURVEY INFORMATION SHOWN HEREON IS TAKEN FROM A PLAN ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY OF TAX MAP LOT 30.01, BLOCK 124.0, BOROUGH OF FORT MONMOUTH COUNTY, NEW JERSEY," SHEET 1 OF 1, DATED FEBRUARY 11, 2004, REVISED THROUGH SEPTEMBER 13, 2006, PREPARED BY KENDARIAN ZILINSKI ASSOCIATES.
2. THE TOPOGRAPHIC INFORMATION SHOWN HEREON IS TAKEN FROM A PLAN ENTITLED "TOPOGRAPHIC SURVEY FOR SENIOR HOUSING DEVELOPMENT," LLC TINTON FALLS TOWN OF JANUARY 31, 2020, PREPARED BY WASER CONSULTING PA, ERIC WILDE, P.L.S., L.C. #643279 OF NEW JERSEY.
3. THE HORIZONTAL DATUM IS RELATIVE TO THE NEW JERSEY STATE PLANE COORDINATE SYSTEM AND ADJUSTED TO NAD1983. THE VERTICAL DATUM IS RELATIVE TO NAD 1988.
4. BENCHMARK REFERENCE PER NOTE 5- MAG NAL SET AT ELEVATION: 137.04 FEET NAD 1988
5. THE ACCESS EASEMENT SHOWN ON LOTS 30 & 30.01 WAS RECORDED IN THE FORT MONMOUTH COUNTY CLERK'S OFFICE ON JANUARY 24, 2020. BOOK REFERENCE 13680 & G IMPROVEMENTS TO BE PERFORMED ON THE SUBJECT LOT AS WELL AS A PORTION OF LOT 30 BLOCK 124.03 PER THE DESCRIBED EASEMENT.
6. THE LIMITS OF FRESHWATER WETLANDS SHOWN HEREON WERE FIELD DELINEATED BY ENVIRONMENTAL MANAGEMENT GROUP, INC. AND AN APPLICATION TO THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION FOR A WETLANDS USE INTERPRETATION TO VERIFY SAME IS PENDING. DELINEATION WAS COMPLETED DECEMBER 19, 2018.
7. STRUCTURES OUTSIDE OF THE SUBJECT LOT WERE ROUGHED IN FROM AERIAL IMAGING AND ARE SHOWN FOR GENERAL INFORMATION AND PLANNING PURPOSES. LOCATIONS AND DIMENSIONS SHOULD NOT BE USED FOR DETERMINING ACTUAL SIZES OR DIMENSIONS OF PROPERTY LINES.

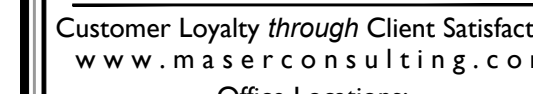
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MARK LESCavage
NEW JERSEY PROFESSIONAL
ENGINEER - LICENSE NUMBER: GE40346

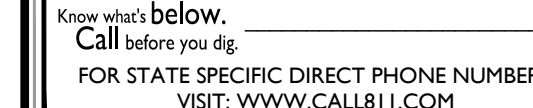
BOROUGH OF TINTON FALLS
MONMOUTH COUNTY
NEW JERSEY

Phone: 732.383.1950			
Fax: 732.383.1984			
SCALE:	DATE:	DRAWN BY:	CHECKED BY:
AS SHOWN	03/27/2020	LMc	DS
PROJECT NUMBER:		DRAWING NAME:	
18006673A		C-DEMO	

SHEET NUMBER:
2 of 16



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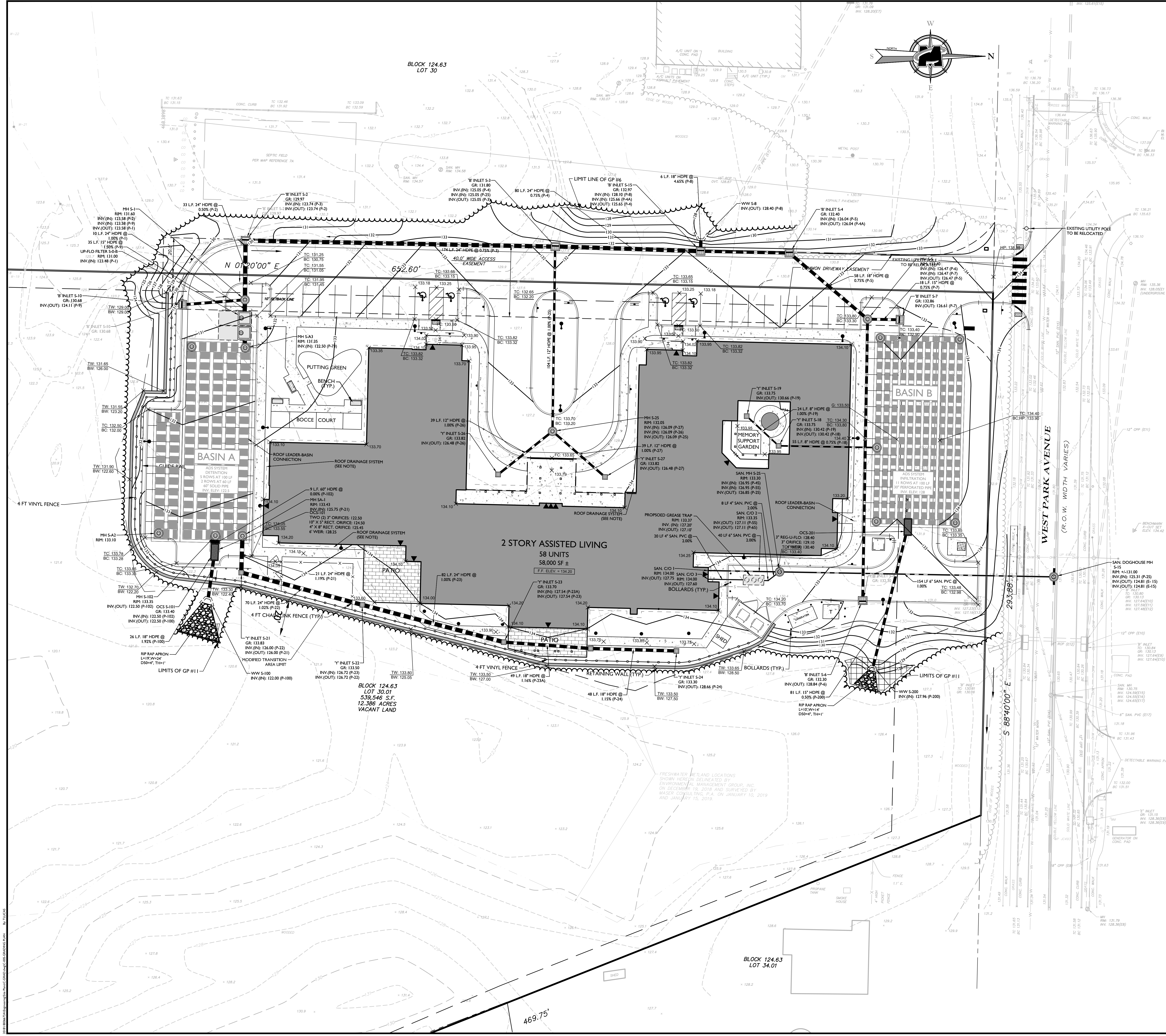
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FOR
ALL AMERICAN
ASSISTED LIVING O
TINTON FALLS

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SCALE : 1" = 40'



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REV	DATE	DESCRIPTION
1	4/20/20	ISSUED FOR SANITARY PERMITS
2	5/10/20	REVISED PER USPT COMMENTS ON WETLAND DELINEATION
3	6/25/20	REVISED PER USPT COMMENTS ON WETLAND DELINEATION
4	7/10/20	REVISED PER MUNICIPAL COMMENTS AND UTILITY REVISIONS

NOTES:

- PROPOSED GRADING ACTIVITIES LOCATED IN THE WETLANDS AND WETLAND TRANSITION AREAS WILL REQUIRE THE FOLLOWING NJDEP LANDUSE PERMITS: FRESHWATER WETLANDS GP-6, FRESHWATER WETLANDS GP-11 AND A TRANSITION AREA WAIVER.

EXISTING		LEGEND		PROPOSED	
RIGHT OF WAY LINE		PROPERTY LINE		RIGHT OF WAY LINE	
EDGE OF PAVEMENT		CURB		FACE	
DEPRESSED CURB		SIDEWALK		BACK	
FENCES		TREE LINE		FENCES	
ROADWAY SIGNS		WETLAND LINE		ROADWAY SIGNS	
MUNICIPAL BOUNDARY LINE		MUNICIPAL BOUNDARY LINE		MUNICIPAL BOUNDARY LINE	
STORM MANHOLE		STORM MANHOLE		STORM MANHOLE	
SANITARY MANHOLE		SANITARY MANHOLE		SANITARY MANHOLE	
FLARED END SECTION		FLARED END SECTION		FLARED END SECTION	
HEADWALL		HEADWALL		HEADWALL	
HYDRANT		HYDRANT		HYDRANT	
POLE MOUNTED LIGHT		POLE MOUNTED LIGHT		POLE MOUNTED LIGHT	
CONTOURS		CONTOURS		CONTOURS	
SPOT ELEVATION		SPOT ELEVATION		SPOT ELEVATION	
DIRECTION OF OVERLAND FLOW		DIRECTION OF OVERLAND FLOW		DIRECTION OF OVERLAND FLOW	
TOP OF CURB ELEVATION		TOP OF CURB ELEVATION		TOP OF CURB ELEVATION	
BOTTOM OF CURB ELEVATION		BOTTOM OF CURB ELEVATION		BOTTOM OF CURB ELEVATION	
TOP OF DEPRESSED CURB ELEVATION		TOP OF DEPRESSED CURB ELEVATION		TOP OF DEPRESSED CURB ELEVATION	

20 0 20 40

SCALE: 1" = 20'

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NEW JERSEY PROFESSIONAL ENGINEER - LICENSE NUMBER: GE40346

PRELIMINARY AND FINAL MAJOR SITE PLAN

FOR
ALL AMERICAN ASSISTED LIVING OF TINTON FALLS

BLOCK 124.63, LOT 30.01
1530 WEST PARK AVE

BOROUGH OF TINTON FALLS
MONMOUTH COUNTY
NEW JERSEY

SCALE: AS SHOWN	DATE: 05/27/2020	DRAWN BY: LMC	CHECKED BY: DS
PROJECT NUMBER: 18056673A	DRAWING NAME: C-GRAD		

SHEET TITLE: GRADING PLAN

SHEET NUMBER: 5 of 16

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.

REV	DATE	DRAWN BY	DESCRIPTION
1	01/10/20	TL	REVISION PER ARCHITECTURAL REVIEW
2	01/10/20	TL	REVISION PER SANITARIAN PERMITS
3	01/10/20	TL	REVISION PER NJDOT COMMENTS ON WETLAND DELINEATION
4	01/10/20	TL	REVISION PER NJDOT COMMENTS AND UTILITY PRECIFICATIONS

REV	DATE	DRAWN BY	DESCRIPTION
1	01/10/20	TL	REVISION PER ARCHITECTURAL REVIEW
2	01/10/20	TL	REVISION PER SANITARIAN PERMITS
3	01/10/20	TL	REVISION PER NJDOT COMMENTS ON WETLAND DELINEATION
4	01/10/20	TL	REVISION PER NJDOT COMMENTS AND UTILITY PRECIFICATIONS

MARK LESCAVAGE
NEW JERSEY PROFESSIONAL ENGINEER - LICENSE NUMBER: GE04346

PRELIMINARY AND FINAL MAJOR SITE PLAN

FOR ALL AMERICAN ASSISTED LIVING OF TINTON FALLS

BLOCK 124.63, LOT 30.01
1530 WEST PARK AVE

BOROUGH OF TINTON FALLS
MONMOUTH COUNTY
NEW JERSEY

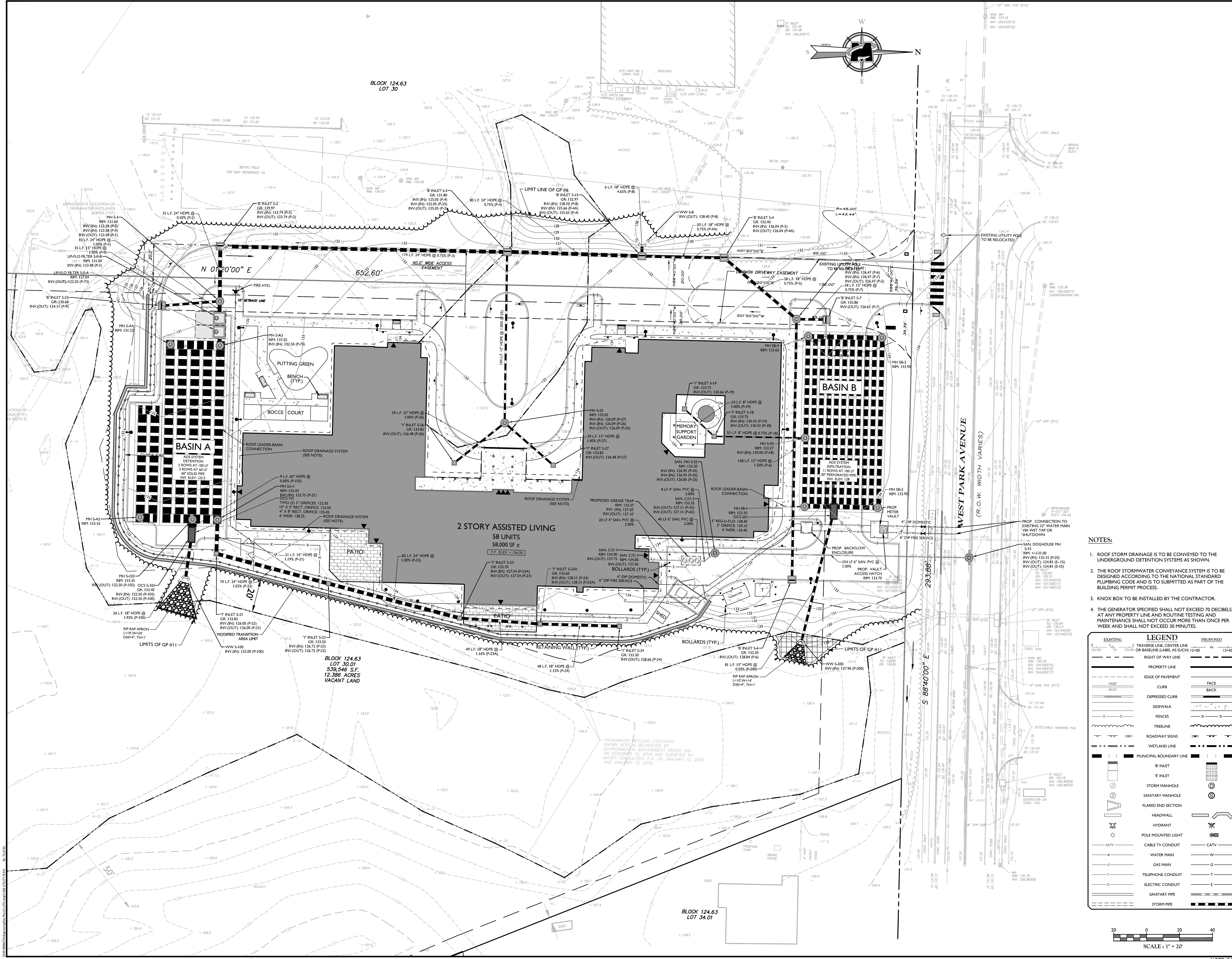
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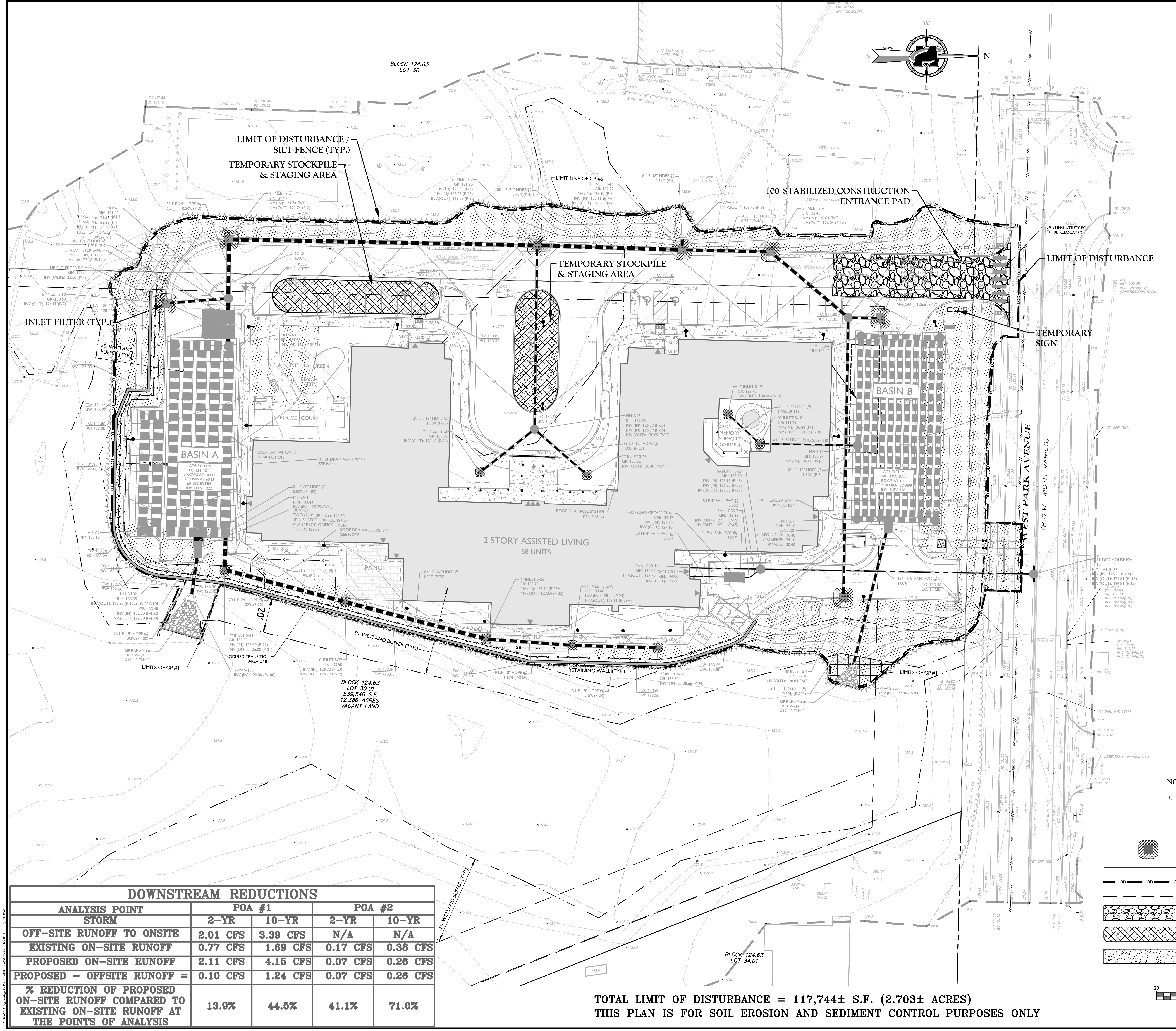
SCALE	DATE	DRAWN BY	CHECKED BY
AS SHOWN	01/27/2020	LPC	DS

PROJECT NUMBER	DRAWING NAME
18056673A	CUTL

SHEET TITLE	SHEET NUMBER
UTILITIES PLAN	6 of 16

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PROJECT SITE

LOCATION MAP
SCALE 1" = 2,000'

SOURCE: GOOGLE MAPS

DOWNSTREAM REDUCTIONS				
ANALYSIS POINT	POA #1		POA #2	
STORM	2-YR	10-YR	2-YR	10-YR
OFF-SITE RUNOFF TO ONSITE	2.01 CFS	3.39 CFS	N/A	N/A
EXISTING ON-SITE RUNOFF	0.77 CFS	1.69 CFS	0.17 CFS	0.38 CFS
PROPOSED ON-SITE RUNOFF	2.11 CFS	4.15 CFS	0.07 CFS	0.26 CFS
PROPOSED - OFFSITE RUNOFF =	0.10 CFS	1.24 CFS	0.07 CFS	0.26 CFS
% REDUCTION OF PROPOSED ON-SITE RUNOFF COMPARED TO EXISTING ON-SITE RUNOFF AT THE POINTS OF ANALYSIS	13.9%	44.5%	41.1%	71.0%

TOTAL LIMIT OF DISTURBANCE = 117,744± S.F. (2.703± ACRES)
THIS PLAN IS FOR SOIL EROSION AND SEDIMENT CONTROL PURPOSES ONLY

NOTES:

1. TEMPORARY SIGN TO BE REMOVED UPON THE COMPLETION OF BUILDING CONSTRUCTION AND INSTALLATION OF PERMANENT MONUMENT SIGN AS SHOWN ON PLANS.

LEGEND

- INLET PROTECTION
- SILT FENCE
- LIMIT OF DISTURBANCE
- SILT FENCE
- STABILIZED CONSTRUCTION ENTRANCE
- SOIL STOCKPILE
- CONCRETE WASHOUT

MARK LESCAGUE
NEW JERSEY PROFESSIONAL ENGINEER - LICENSE NUMBER: GE40346

PRELIMINARY AND FINAL MAJOR SITE PLAN

FOR
ALL AMERICAN ASSISTED LIVING OF TINTON FALLS

BLOCK 124.63, LOT 30.01
1530 WEST PARK AVE

BOROUGH OF TINTON FALLS
MONMOUTH COUNTY
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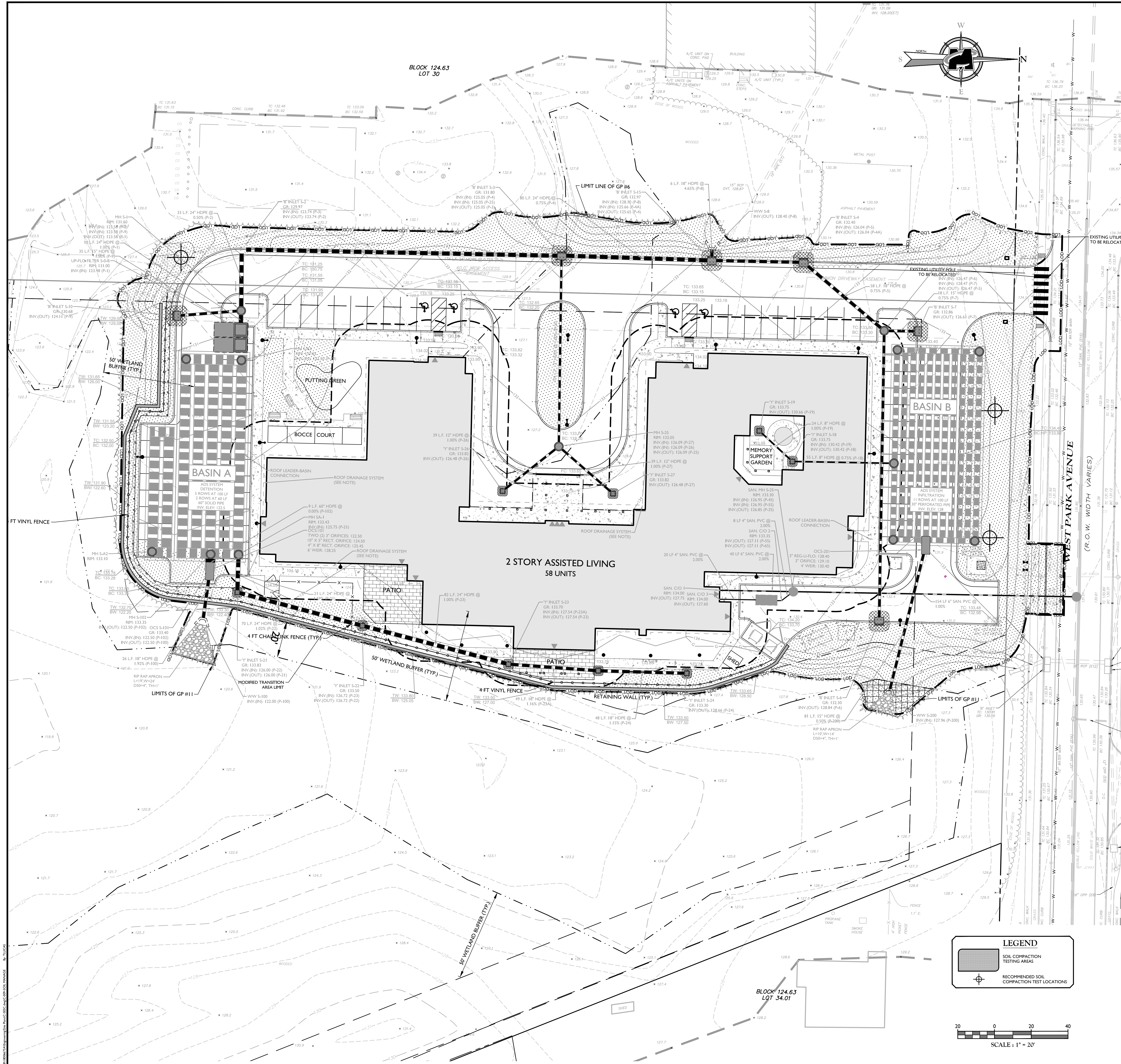
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PROJECT NUMBER: 18056673A	DRAWING NAME: C-355C		

SHEET TITLE:
SOIL EROSION & SEDIMENT CONTROL PLAN

SHEET NUMBER:
7 of 16

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION



SOIL DECOMPACTION AND TESTING REQUIREMENTS

MCNJ-SOIL-NOTE-2000 05/01/18

A. SOIL COMPACTION TESTING REQUIREMENTS

- SUBGRADE SOILS PRIOR TO THE APPLICATION OF TOPSOIL STANDARD FOR VEGETATIVE COVER NOTES SHALL BE FREE OF EXCESSIVE COMPACTION TO A DEPTH OF 6.0 INCHES TO ENHANCE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER (SEE STANDARD FOR VEGETATIVE COVER) NOTES FOR TOPSOIL REQUIREMENTS.
- AREAS OF THE SITE WHICH ARE SUBJECT TO COMPACTION TESTING AND/OR MITIGATION ARE GRAPHICALLY DENOTED ON THE SOIL EROSION CONTROL PLAN. MINIMUM 2 TESTS FOR LIMIT OF DISTURBANCE UP TO 1 ACRE, PLUS 2 TESTS PER ACRE OF LIMIT OF DISTURBANCE THEREAFTER, SPACED EVENLY THROUGHOUT THE SITE.
- COMPACTION TESTING LOCATIONS ARE DENOTED ON THE PLAN. A COPY OF THE PLAN SHALL BE USED TO MARK THE LOCATIONS OF TESTS AND ATTACHED TO THE COMPACTED REMEDIATION FORM, AVAILABLE FROM THE LOCAL SOIL CONSERVATION DISTRICT. THIS FORM MUST BE FILLED OUT AND SUBMITTED PRIOR TO RECEIVING A CERTIFICATE OF COMPLIANCE FROM THE DISTRICT.
- IN THE EVENT THAT TESTING INDICATES COMPACTION IN EXCESS OF THE MAXIMUM THRESHOLDS INDICATED FOR THE PROBING OR PENETRATION TESTING METHODS (SEE DETAILS), THE CONTRACTOR/OWNER SHALL HAVE THE OPTION TO PERFORM EITHER (1) COMPACTION MITIGATION OVER THE ENTIRE MITIGATION AREA DENOTED ON THE PLAN (EXCLUDING EXEMPT AREAS), OR (2) PERFORM ADDITIONAL DENSITY TESTING TO ESTABLISH THE LIMITS OF EXCESSIVE COMPACTION WHEREBYP ONLY THE EXCESSIVELY COMPACTED AREAS WOULD REQUIRE COMPACTION MITIGATION. ADDITIONAL DENSITY TESTING SHALL BE PERFORMED BY A TRAINED, LICENSED PROFESSIONAL.

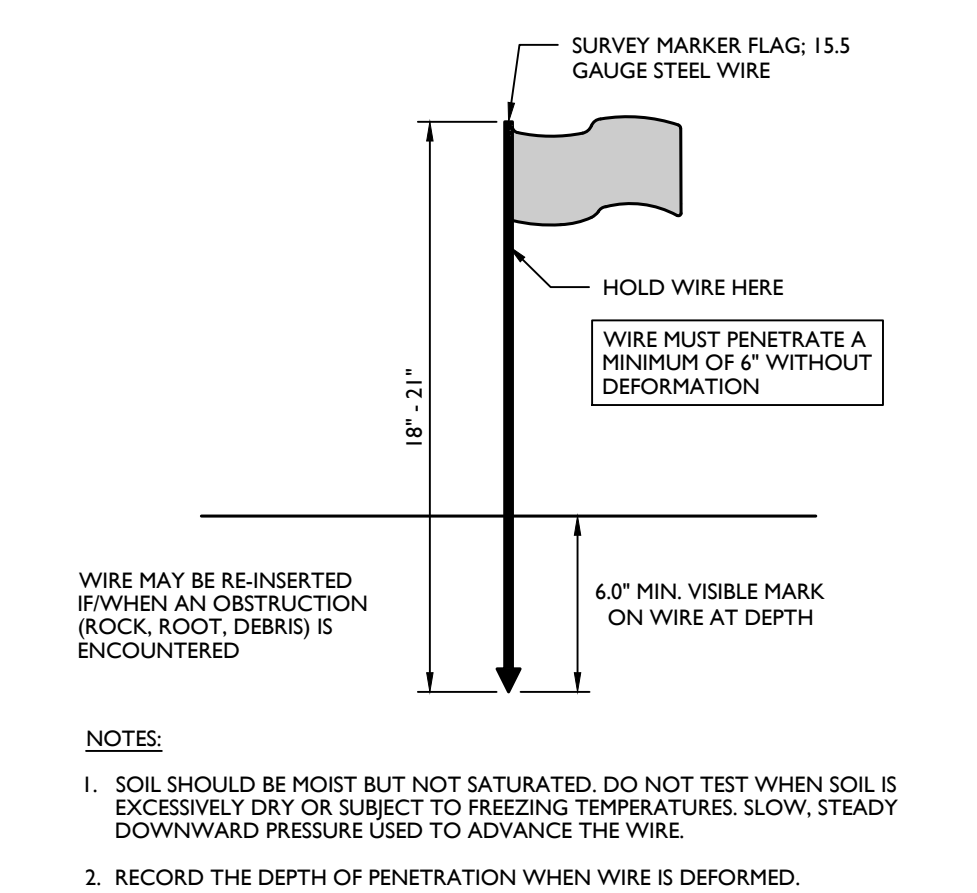
B. COMPACTION TESTING METHODS

- PROBING WIRE TEST (SEE DETAIL)
- HANDHELD PENETROMETER TEST (SEE DETAIL)
- TUBE BULK DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)
- NUCLEAR DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)
- ADDITIONAL TESTING METHODS WHICH CONFORM TO ASTM STANDARDS AND SPECIFICATIONS, AND WHICH PRODUCE A DRY WEIGHT, SOIL BULK DENSITY MEASUREMENT MAY BE ALLOWED SUBJECT TO DISTRICT APPROVAL.

NOTE: SOIL COMPACTION TESTING IS NOT REQUIRED IF WHEN SUBSOIL COMPACTION MITIGATION IS PROPOSED AS PART OF THE SEQUENCE OF CONSTRUCTION FOR ADDITIONAL REQUIREMENTS AND EXEMPTIONS SEE SECTION 19 STANDARD FOR LAND GRADING OF THE STANDARD.

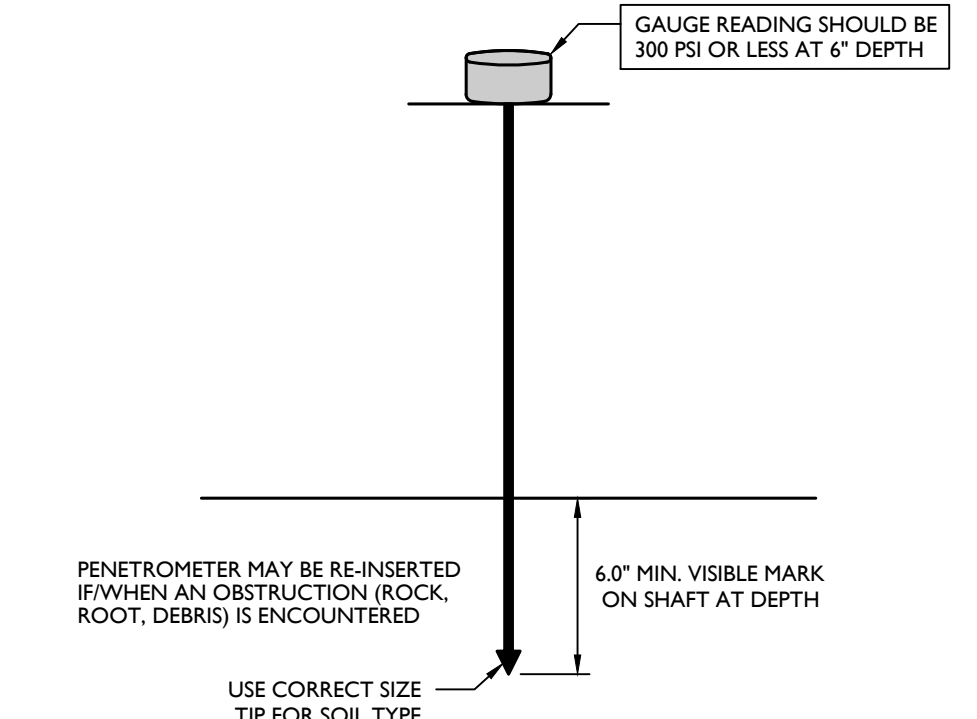
C. PROCEDURES FOR SOIL COMPACTION MITIGATION

- PROCEDURES SHALL BE USED TO MITIGATE EXCESSIVE SOIL COMPACTION PRIOR TO PLACEMENT OF TOPSOIL AND ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
- RESTORATION OF COMPACTED SOILS SHALL BE THROUGH DEEP SCARIFICATION/TILLAGE (6" MINIMUM DEPTH) WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.).
- IN THE ALTERNATIVE, ANOTHER METHOD AS SPECIFIED BY A NEW JERSEY LICENSED PROFESSIONAL ENGINEER MAY BE SUBSTITUTED SUBJECT TO DISTRICT APPROVAL.



PROBING WIRE TEST DETAIL

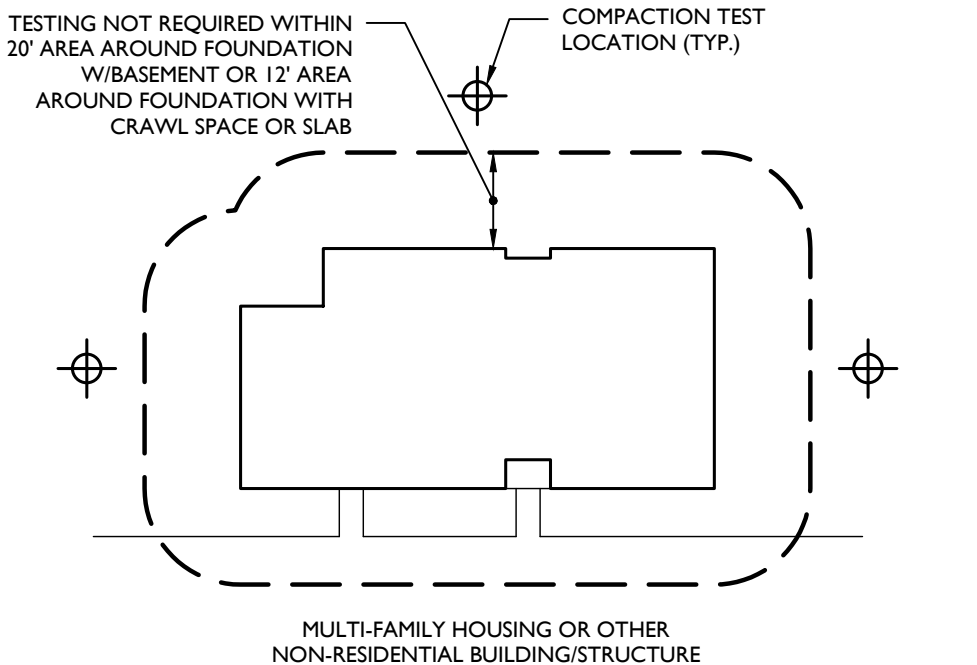
NOT TO SCALE MCNJ-SOIL-EROS-2800 12/01/17



- NOTE:
- SOIL SHOULD BE MOIST BUT NOT SATURATED. DO NOT TEST WHEN SOIL IS EXCESSIVELY DRY OR SUBJECT TO FREEZING TEMPERATURES. SLOW, STEADY DOWNWARD PRESSURE USED TO ADVANCE THE PROBE. PROBE PLUS PENETRATES AT LEAST 6" WITH LESS THAN 300 PSI READING ON THE GAUGE.
 - USE 1/2" TIP FOR FIRM SOIL, 3/4" TIP FOR SOFT SOIL.

HANDHELD SOIL PENETROMETER TEST DETAIL

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- NOTES:
- SOIL COMPACTION TESTING LOCATIONS IDENTIFIED ARE RECOMMENDED LOCATIONS FOR GRADED/DISTURBED AREAS WITHIN THE VICINITY OF BUILDINGS AND STRUCTURES OR ON INDIVIDUAL LOTS. MINIMUM TWO (2) TEST PITS PER LOT UP TO 1 ACRE OF DISTURBANCE.
 - FOR GRADED/DISTURBED AREAS WITHIN OPEN OR COMMON SPACES, SOIL COMPACTION TESTING SHALL BE PERFORMED AT TWO (2) TEST PITS PER ACRE OF OVERALL LIMIT OF DISTURBANCE, EVENLY DISTRIBUTED.

TYPICAL SOIL COMPACTION TESTING LOCATIONS DETAIL

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MARK LESCAVAGE
NEW JERSEY PROFESSIONAL ENGINEER - LICENSE NUMBER: 6E4046

PRELIMINARY AND FINAL MAJOR SITE PLAN
FOR
ALL AMERICAN ASSISTED LIVING OF TINTON FALLS
BLOCK 124.63, LOT 30.1
1530 WEST PARK AVE
BOROUGH OF TINTON FALLS
MONMOUTH COUNTY
NEW JERSEY

RED BANK OFFICE
Corporate Headquarters
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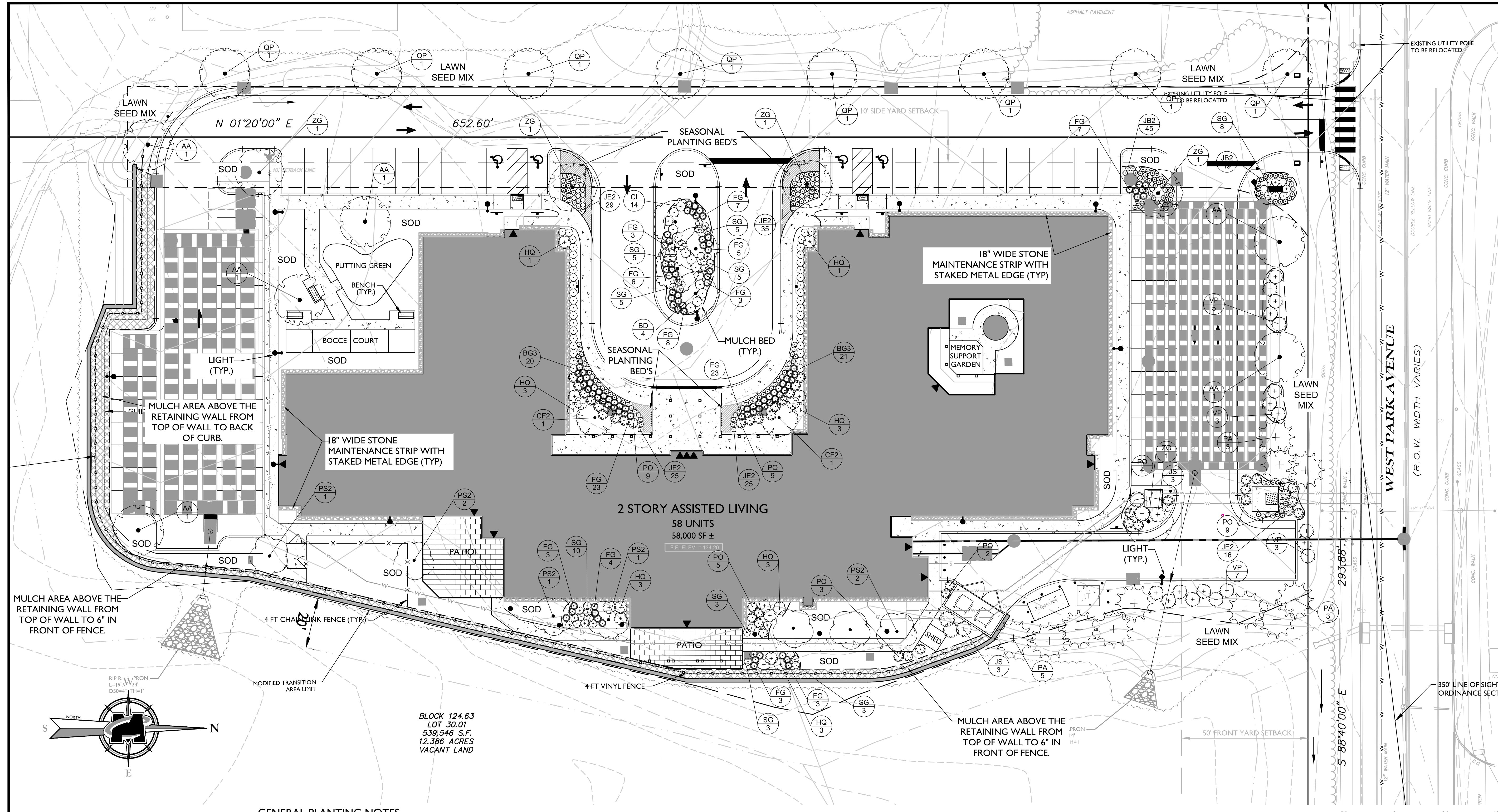
SCALE	DATE	DRAWN BY	CHECKED BY
AS SHOWN	05/27/2020	LJC	DS

PROJECT NUMBER	DRAWING NAME
1806673A	C-355C

SHEET TITLE
SOIL MANAGEMENT & PREPARATION PLAN

SHEET NUMBER
9 of 16

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION

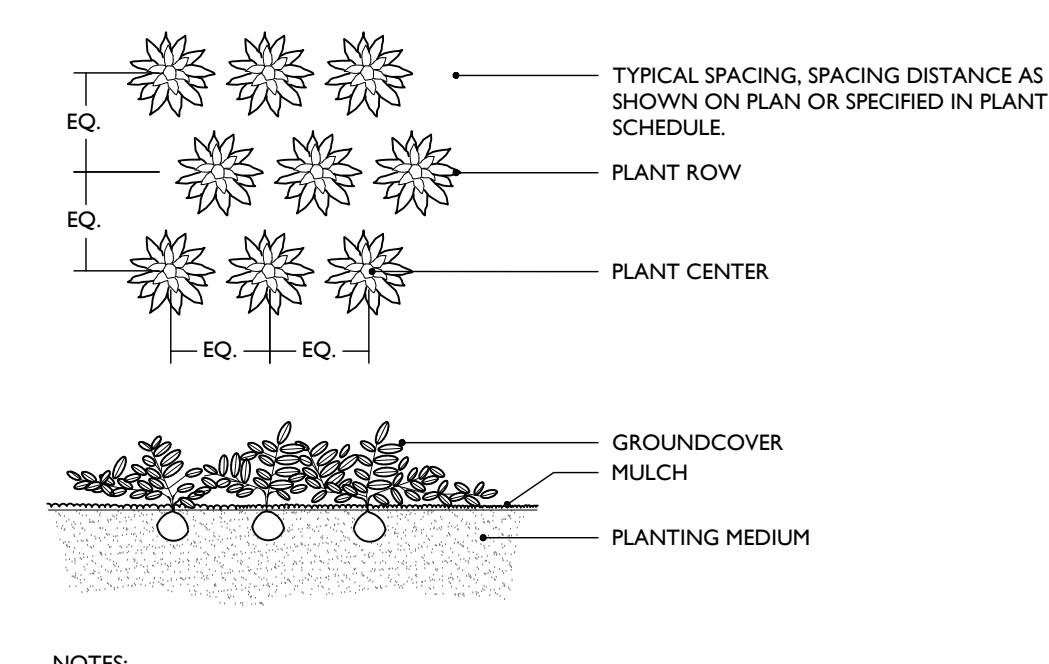
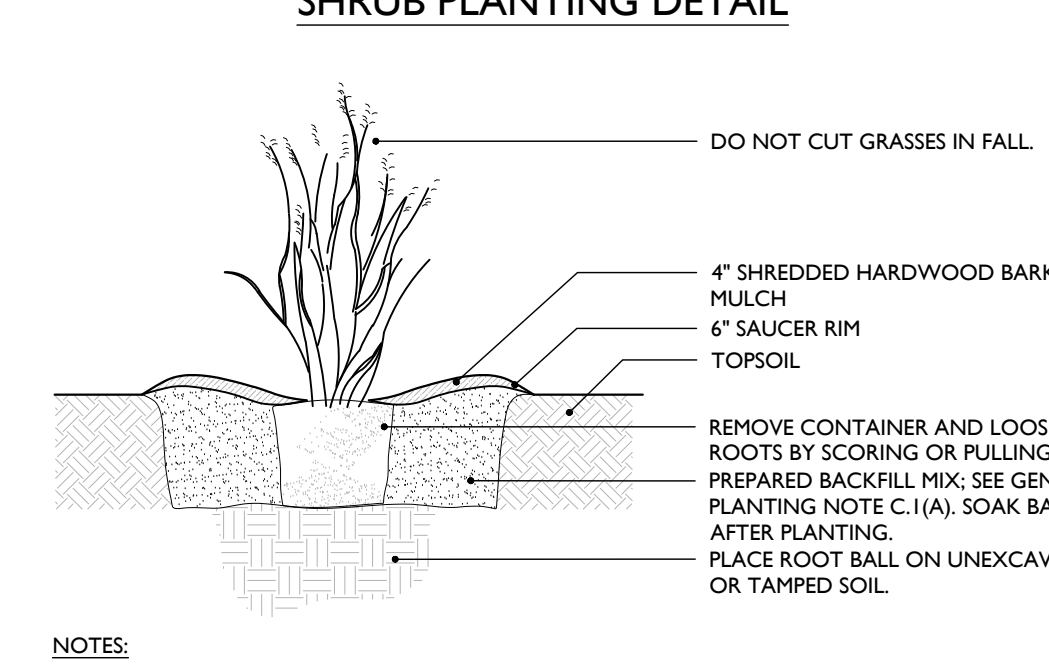
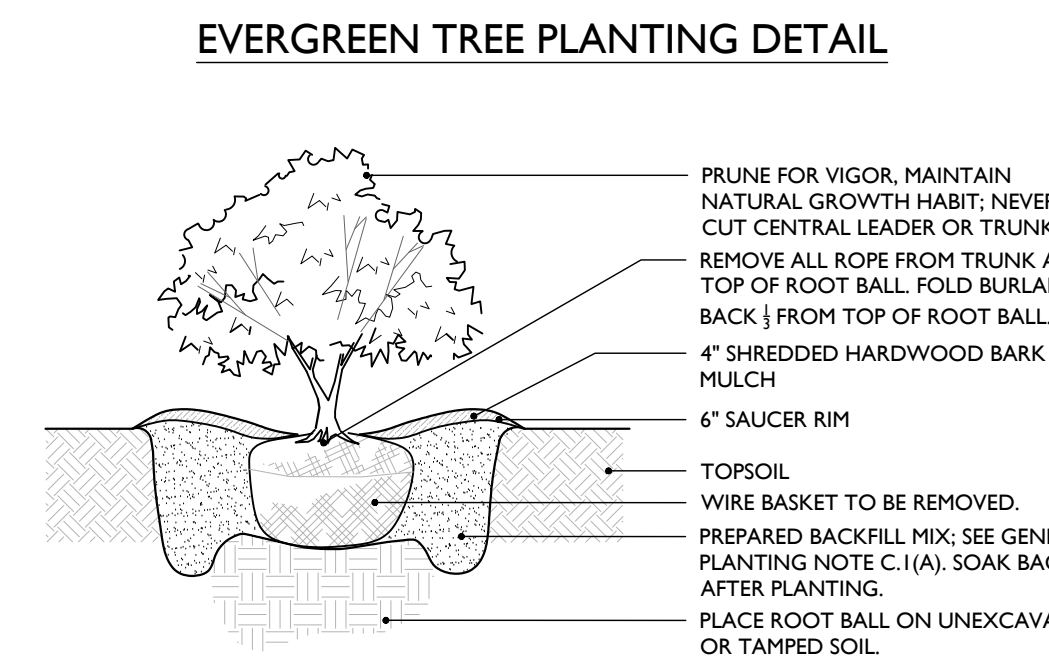
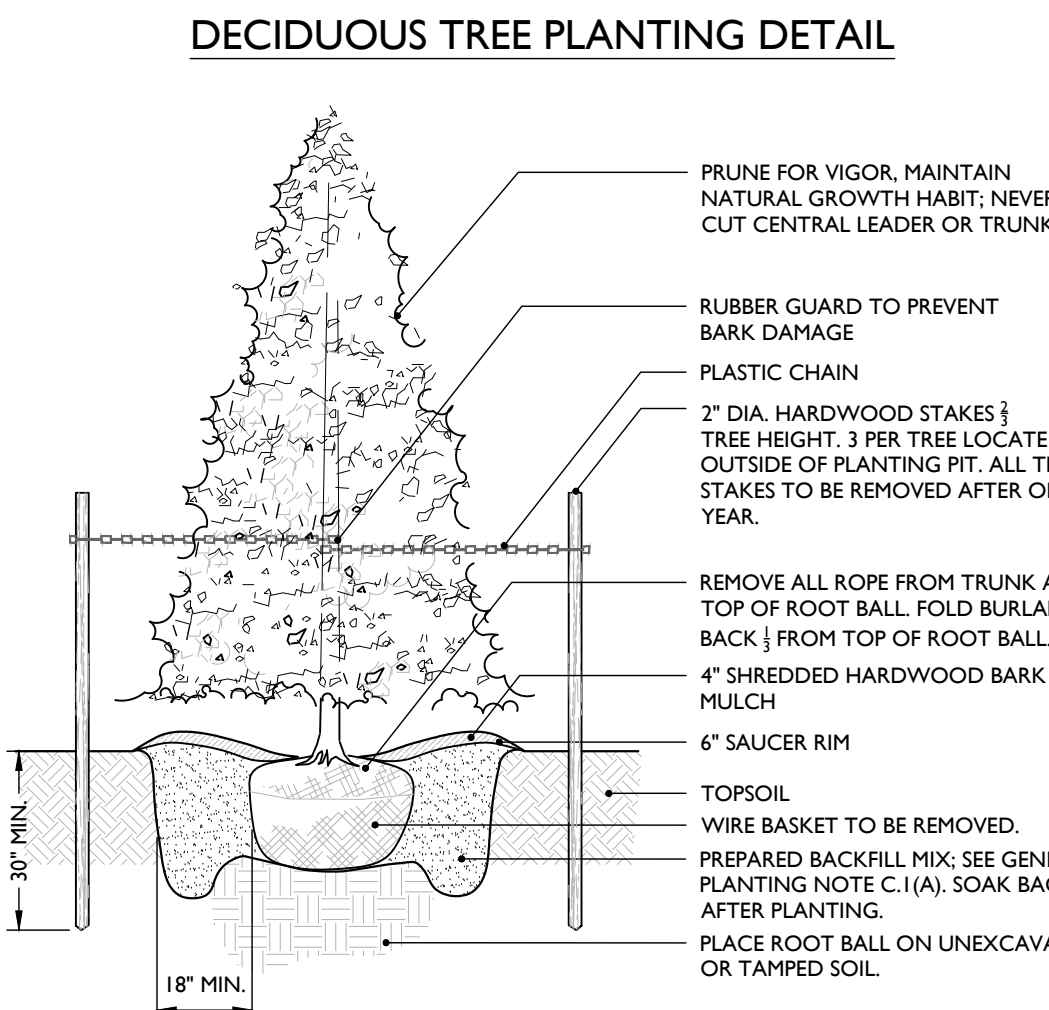
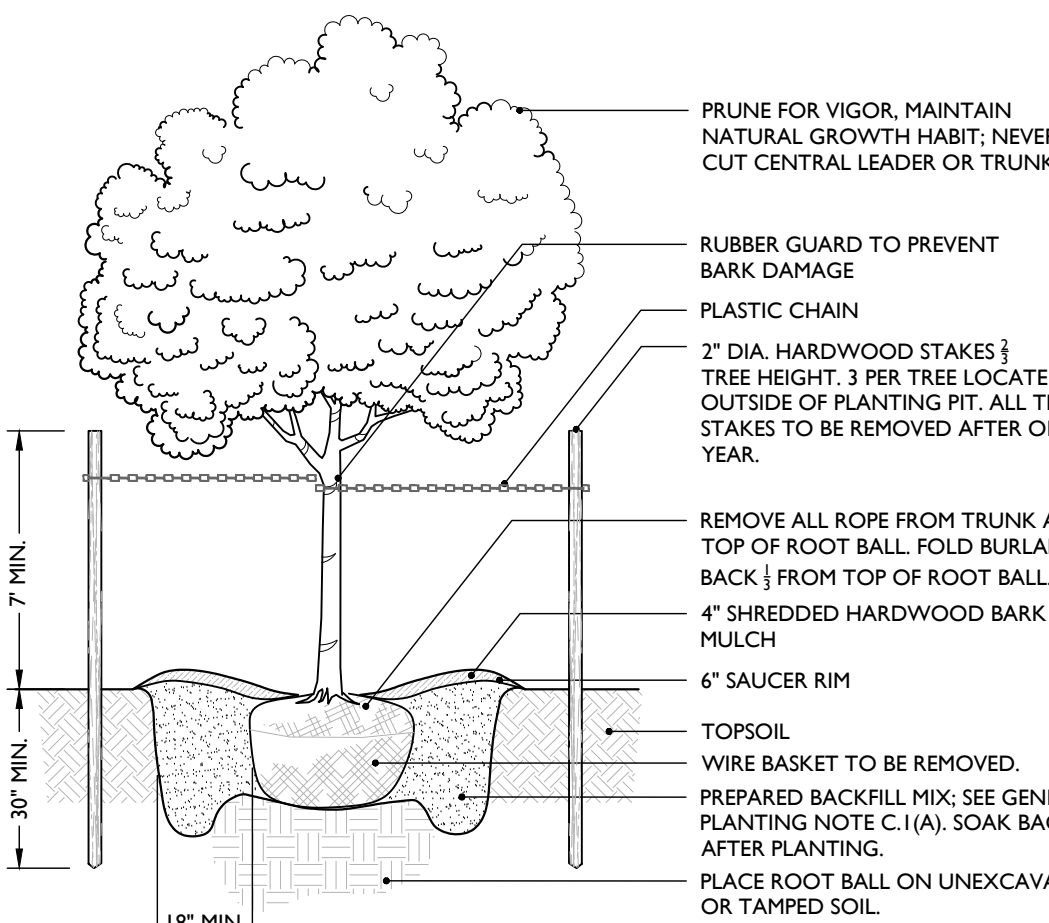


GENERAL NOTES

- THIS SHEET IS TO BE USED FOR LANDSCAPE PURPOSES ONLY.
- REFER TO SHEET 1 FOR GENERAL NOTES.

LANDSCAPE PLAN NOTES

- PLANT LOCATIONS INDICATED ON THE LANDSCAPE PLAN ARE APPROXIMATE. ACTUAL LOCATION OF PLANT MATERIAL IS SUBJECT TO SITE CONDITIONS. PRIOR TO INSTALLATION, PLANT LOCATIONS AND PLANTING BED LIMITS SHALL BE APPROVED IN THE FIELD UNDER THE DIRECTION OF THE LANDSCAPE ARCHITECT AND/OR THE SOIL ENGINEER OR PLANNER.
- THE LANDSCAPE PLAN SHALL TAKE PRECEDENCE OVER THE PLANT SCHEDULE SHOULD ANY PLANT MATERIAL DISCREPANCIES OCCUR.
- LAWN AREAS SHALL BE STABILIZED WITH SEED UNLESS OTHERWISE INDICATED ON THE PLAN. REFER TO THE SOIL EROSION AND SEDIMENT CONTROL PLAN FOR APPROVED SEED MIXTURES.
- ALL SHADE TREES PLANTED ADJACENT TO PEDESTRIAN WALKWAYS, VEHICLE ACCESSES, OR WITHIN A SIGHT TRIANGLE OR SIGHT EASEMENT SHALL BE BRANCHED A MINIMUM OF 20' ABOVE GRADE AND/OR APPROPRIATELY PRUNED TO BE 7'-0" ABOVE GRADE. ALL SHRUBS WITHIN A SIGHT TRIANGLE OR SIGHT EASEMENT SHALL NOT EXCEED 30' ABOVE THE ELEVATION OF THE ADJACENT CURB AND ARE TO BE APPROPRIATELY PRUNED.



A. GENERAL

- THIS PLAN SHALL BE USED FOR LANDSCAPE PLANTING PURPOSES ONLY. EXAMINE ALL ENGINEERING DRAWINGS AND FIELD CONDITIONS FOR SPECIFIC LOCATIONS OF UTILITIES AND STRUCTURES. NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES OR LOCATIONS CONFLICTS PRIOR TO PLANTING INSTALLATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UTILITIES MARKOUTS AND COMPLIANCE WITH ALL FEDERAL, STATE, OR LOCAL CODES, LAWFUL ORDERS OR REGULATIONS GOVERNING UPON THIS WORK.
- OWNER OR HIS/HER REPRESENTATIVE SHALL BE NOTIFIED PRIOR TO BEGINNING PLANTING OPERATIONS.
- ROUTINE MAINTENANCE OF SHADE TREES SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. ANY LANDSCAPING THAT DIES WITHIN 2 YEARS OF PLANTING, FOR ANY REASON, SHALL BE REPLACED BY THE DEVELOPER OR BY THE CURRENT OWNER AT THEIR SOLE EXPENSE.

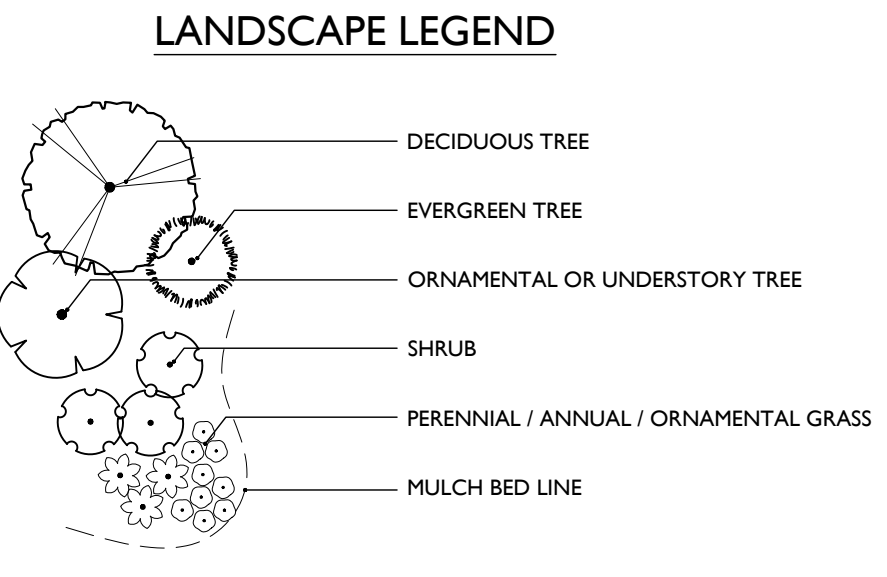
B. PLANT MATERIAL

- PLANT MATERIAL:**
 - A. PLANT MATERIAL SHALL CONFORM WITH THE ANSI Z60.1-2004 'AMERICAN STANDARD FOR NURSERY STOCK' AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION (ANLA) IN REGARD TO QUALITY, SIZE OF PLANTING, SPREAD OF ROOTS, SIZE OF ROOTBALL, AND BRANCHING PATTERN.
 - B. PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, HAVE NORMAL GROWTH HABITS, WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS, AND FREE FROM DEFECTS, INJURY, DISEASE, AND/OR INFESTATION, WITH ROOT BALLS INTACT.
 - C. ALL PLANT MATERIAL SHALL BEAR THE SAME RELATION TO FINISHED GRADE AT THE NURSERY. THE PLANT MATERIAL SHALL BE PLANTED AT THE SAME LEVEL WHEN PLANTED.
 - D. PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY TO THE SITE. IN THE EVENT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL TAKE APPROPRIATE STEPS TO PROTECT THE PLANT MATERIAL FROM DAMAGE PRIOR TO INSTALLATION.
 - E. THE LANDSCAPE ARCHITECT OR OWNER SHALL HAVE THE RIGHT, AT ANY STAGE OF THE OPERATION, TO REJECT ANY AND ALL PLANT MATERIAL WHICH IN THEIR OPINION DOES NOT MEET THE REQUIREMENTS OF THESE PLANS.
- PLANT QUANTITIES:** THE LANDSCAPE PLAN SHOULD TAKE PRECEDENCE OVER THE PLANT SCHEDULE IF ANY PLANT DISCREPANCIES OCCUR.
- PLANT SIZE:** THE CONTRACTOR SHALL FURNISH PLANT MATERIAL IN THE CALIPER, HEIGHT, SIZE OR SPREAD INDICATED IN THE PLANT SCHEDULE.
- SUBSTITUTIONS:** NO PLANT SUBSTITUTIONS SHALL BE PERMITTED WITH REGARD TO SIZE, SPECIES, OR VARIETY WITHOUT WRITTEN PERMISSIONS OF THE MUNICIPALITY, LANDSCAPE ARCHITECT, OR OWNER. WRITTEN PROOF OF THE PLANT MATERIAL UNAVAILABILITY MUST BE DOCUMENTED BY THE CONTRACTOR.
- GUARANTEE:** PLANT MATERIAL SHALL BE GUARANTEED FOR TWO (2) YEARS AFTER THE DATE OF FINAL ACCEPTANCE. ANY PLANT MATERIAL THAT IS DEAD OR DYING WITHIN THAT TIME PERIOD SHALL BE REMOVED, INCLUDING STUMP, AND REPLACED WITH A SIMILAR SIZE AND SPECIES AT THE EXPENSE OF THE DEVELOPER OR OWNER. TREE STAKES AND PLASTIC CHAINS SHALL BE REMOVED AT THE END OF THE TWO YEAR GUARANTEE PERIOD.

C. PLANTING PROCEDURES

- PLANTING BEDS:**
 - A. PROVIDE PLANTING PITS AS INDICATED ON PLANTING DETAILS. BACKFILL PLANTING PITS WITH WELL DRAINING AND FERTILE SOILS. SOILS SHALL BE SANDY LOAM, FREE FROM DEBRIS, ROCKS, ETC. SOIL TO BE ONE PART EACH OF TOPSOIL, MOISTENED PEAT MOSS, AND PARENT MATERIAL.
 - B. PLANTING BEDS SHALL RECEIVE FOUR (4) TO SIX (6) INCHES OF DOUBLE SHREDDED HARDWOOD MULCH AND TREATED WITH A PRE-EMERGENT HERBICIDE. NO MULCH SHALL COME IN DIRECT CONTACT WITH ROOT FLARE/COLLAR. UNDER NO CIRCUMSTANCES SHALL THE ROOT CROWN BE BURIED.
 - C. SHRUB MASSES SHALL BE PLANTED IN CONTINUOUS MULCHED BEDS.
- PLANT LOCATIONS:** THE LOCATION OF ALL PLANT MATERIAL INDICATED ON THE LANDSCAPE PLANS ARE APPROXIMATE. THE FINAL LOCATION OF ALL PLANT MATERIAL AND PLANTING BED LINES SHALL BE DETERMINED IN THE FIELD AT THE TIME OF INSTALLATION FOLLOWING THE BASIC INTENT OF THE APPROVED PLANS, UNLESS THERE IS A SPECIFIC DIMENSION OR LOCATION SHOWN.
- PLANTING DATES:** PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICES. PLANTING SEASONS ARE DEFINED AS MARCH 15 THROUGH MAY 15 AND SEPT 15 THROUGH NOV 15. PLANTING IS ACCEPTABLE DURING THE WINTER MONTHS IF WEATHER PERMITS AND THE GROUND IS NOT FROZEN, AND IN THE SUMMER IF SUPPLEMENTAL WATERING IS PROVIDED. SOIL MUST BE FROST FREE, FRIABLE, AND NOT MUDDY AT TIME OF PLANTING.
- PLANTING METHODS:**
 - A. TREES SHALL BE SUPPORTED IMMEDIATELY AFTER PLANTING. PLANT MATERIAL SHALL BE PROPERLY GUYED, STAKED, AND PLANTED IN CONFORMANCE WITH THE TYPICAL PLANTING DETAILS.
 - (1) STAKES SHALL BE EIGHT TO TEN FEET LONG, OF SOUND, DURABLE UNFINISHED LUMBER CAPABLE OF WITHSTANDING ABOVEGROUND AND UNDERGROUND CONDITIONS DURING THE PERIOD OF GUARANTEE WITH TOP AND BOTTOM DIMENSIONS OF TWO INCHES BY TWO INCHES IN DIAMETER.
 - (2) THREE STAKES SHALL BE EQUALLY SPACED ABOUT THE TREE IN A TRIANGULAR FASHION AND SHALL BE DRIVEN VERTICALLY INTO THE GROUND 2 1/2 TO 3 FEET IN A MANNER THAT DOES NOT INJURE THE ROOT BALL.
 - (3) TREES SHALL BE FASTENED TO EACH STAKE AT A HEIGHT OF FIVE FEET BY MEANS OF PLASTIC CHAIN LINK TREE TIE (1/2" WIDE RECOMMENDED FOR TREES UP TO 2 1/2 INCHES IN CALIPER).
 - B. SET PLANTS PLUMB AND STRAIGHT. SET AT SUCH LEVEL THAT AFTER SETTLEMENT A NORMAL OR NATURAL RELATIONSHIP TO THE CROWN OF THE PLANT WITH THE GROUND SURFACE WILL BE ESTABLISHED. LOCATE PLANTS IN CENTER OF PIT.
 - C. AT TIME OF INSTALLATION, THE CONTRACTOR SHALL WATER NEWLY INSTALLED PLANT MATERIAL. THE CONTRACTOR SHALL PROVIDE REGULAR WATERING TO ENSURE THE ESTABLISHMENT, GROWTH, AND SURVIVAL OF ALL PLANTS.
 - D. B&B PLANTS SHALL BE HANDLED FROM THE BOTTOM OF THE ROOTBALL ONLY. PLANTS WITH BROKEN, SPLIT, OR DAMAGED ROOTBALLS SHALL BE REJECTED.
 - E. CORD BINDING OF ALL B&B PLANTS SHALL BE CUT AND REMOVED, ALONG WITH THE BURLAP OF THE UPPER 1 OF THE ROOT BALL. ALL WIRE BASKETS ARE TO BE REMOVED PRIOR TO BACKFILLING PLANTING PIT.
- MAINTENANCE:**
 - A. EACH TREE AND SHRUB SHALL BE PRUNED IN ACCORDANCE WITH THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. ALL DEAD WOOD OR SUCKERS AND ALL BROKEN OR BADLY BRUISED BRANCHES SHALL BE REMOVED. PRUNING SHALL BE DONE WITH CLEAN, SHARP TOOLS.
 - B. SHADE TREES PLANTED NEAR PEDESTRIAN OR VEHICULAR ACCESS SHOULD NOT BE BRANCHED LOWER THAN 7'-0" ABOVE GRADE. PLANT MATERIAL LOCATED WITHIN SIGHT TRIANGLE EASEMENTS SHALL NOT EXCEED A MATURE HEIGHT OF 30' ABOVE THE ELEVATION OF THE ADJACENT CURB. STREET TREES PLANTED IN SIGHT TRIANGLE EASEMENTS SHALL BE PRUNED TO NOT TO HAVE BRANCHES BELOW 7'-0".
 - C. THE CENTRAL LEADER SHALL NOT BE CUT OR DAMAGED.
 - D. THE LANDSCAPE CONTRACTOR SHALL TEST THE SOIL TO CONFIRM SUITABILITY FOR THE PROPOSED SEED MIX AND SUPPLEMENT AS REQUIRED TO MEET THE REQUIRED PH & NUTRIENT LEVELS.
 - E. ALL DISTURBED AREAS SHALL BE STABILIZED WITH SEED UNLESS OTHERWISE INDICATED ON THE LANDSCAPE PLANS. SEED SHALL BE IN ACCORDANCE WITH THE SOIL EROSION AND SEDIMENT CONTROL DISTRICT'S SEED SPECIFICATIONS AS NOTED ON THE SOIL EROSION AND SEDIMENT CONTROL DETAILS SHEET.
 - F. C. SOD, IF SPECIFIED, SHALL CONSIST OF A NEW JERSEY CERTIFIED MIXTURE. ALL DISTURBED AREAS INDICATED AS LAWN OR SOD SHALL BE TOPSOILED, LIMED, AND FERTILIZED & FINE GRADED PRIOR TO LAWN INSTALLATION.
 - G. EXISTING VEGETATION: EXISTING TREES AND SHRUBS TO BE PRESERVED ON SITE SHALL BE PROTECTED AGAINST CONSTRUCTION DAMAGE BY SNOW FENCING. FENCING SHALL BE PLACED OUTSIDE THE INDIVIDUAL TREE CANOPY. TREES TO REMAIN SHALL BE IDENTIFIED IN THE FIELD PRIOR TO COMMENCEMENT OF CONSTRUCTION. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION, GRADING, OR CLEARING. EXISTING VEGETATION BEING PRESERVED AND LOCATED AT THE EDGE OF THE NEW TREE SHALL BE PRUNED AND TRIMMED TO REMOVE ALL DEAD, DAMAGED, OR DISEASED BRANCHES.
 - H. SITE CLEANUP: PLANTING DEBRIS (WIRE, TWINE, RUBBERHOSE, BACKFILL, ETC.) SHALL BE REMOVED FROM THE SITE AFTER PLANTING IS COMPLETE. THE PROPERTY IS TO BE LEFT IN A NEAT, ORDERLY CONDITION IN ACCORDANCE WITH ACCEPTED PLANTING PRACTICES.

PLANT SCHEDULE					
DECIDUOUS TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
AA	6	ACER RUBRUM 'AUTUMN BLAZE' / AUTUMN BLAZE RED MAPLE	B & B	2.5" CAL	7' - 8'
BD	4	BETULA NIGRA 'DURAHEAT' / DURAHEAT RIVER BIRCH MULTI-TRUNK	B & B		
CF2	2	CORNUS FLORIDA / EASTERN DOGWOOD	B & B	1.5" CAL	
PS2	7	PRUNUS X 'SNOW GOOSE' / SNOW GOOSE CHERRY	B & B	1.5" CAL	
	8	QUERCUS PHELLOS / WILLOW OAK	B & B	2.5" CAL	
ZG	5	ZELKOVA SERRATA 'GREEN VASE' / SAWLEAF ZELKOVA	B & B	2.5" CAL	
EVERGREEN TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
PA	11	PICEA ABIES / NORWAY SPRUCE	B & B		6'-8"
SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
BG3	40	BUXUS X 'GREEN GEM' / GREEN GEM BOXWOOD	18"-24" MIN.		
CI	14	CORNUS SERICEA 'IVORY HALO' / VARIEGATED REDTWIG DOGWOOD	24"-30" MIN.		
FG	102	FOTHERGILLA GARDENII / DWARF FOTHERGILLA	18"-24" MIN.		
HQ	17	HYDRANGEA QUERCIFOLIA / OAKLEAF HYDRANGEA	24"-30" MIN.		
JB2	63	JUNIPERUS HORIZONTALIS 'BLUE CHIP' / BLUE CHIP JUNIPER	2 GAL		
JE2	130	JUNIPERUS HORIZONTALIS 'EMERALD SPREADER' / EMERALD SPREADER JUNIPER	2 GAL		
JS	6	JUNIPERUS X PFITZERIANA 'SEA GREEN' / SEA GREEN JUNIPER	24"-30" MIN.		
PO	41	PRUNUS LAUROCERASUS 'OTTO LUYKEN' / LUYKENS LAUREL	24"-30" MIN.		
SG	53	SPIRAEA JAPONICA 'GOLDMOUND' / GOLDMOUND SPIREA	18"-24" MIN.		
VP	18	VIBURNUM X PRAGENSE / PRAGUE VIBURNUM	36"-48" MIN.		



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REV	DATE	DESCRIPTION
1	4/20/20	ISSUED FOR ARCHITECTURAL REVIEW
2	5/1/20	ISSUED FOR SANITARY COMMENTS
3	6/2/20	ISSUED FOR VENDOR COMMENTS ON WEEDS AND BURLAP
4	7/9/20	ISSUED FOR FINANCIAL COMMENTS AND UTILITY REVISIONS

MARK LESCAVAGE

NEW JERSEY PROFESSIONAL ENGINEER - LICENSE NUMBER: 064346

PRELIMINARY AND FINAL MAJOR SITE PLAN

FOR
ALL AMERICAN ASSISTED LIVING OF TINTON FALLS

BLOCK 124.63, LOT 30.01
1530 WEST PARK AVE

BOROUGH OF TINTON FALLS
MONMOUTH COUNTY
NEW JERSEY

RED BANK OFFICE

Corporate Headquarters
331 Newman Springs Road
Suite 203
Red Bank, NJ 07701

Phone: 732.383.1950
Fax: 732.383.1984

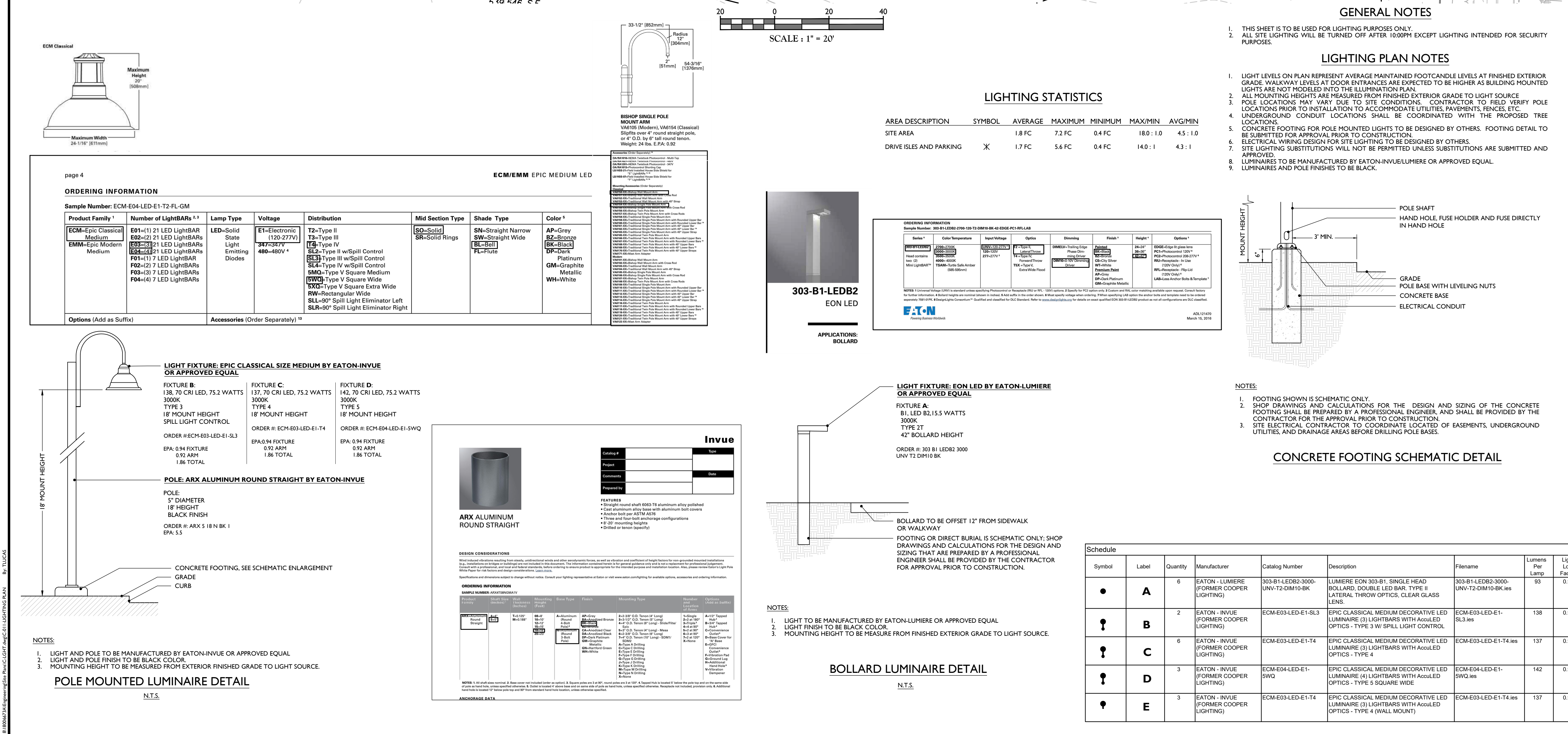
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AS SHOWN	03/27/2020	JRD	RCL

PROJECT NUMBER: 18066673A
DRAWING NAME: C-LAND

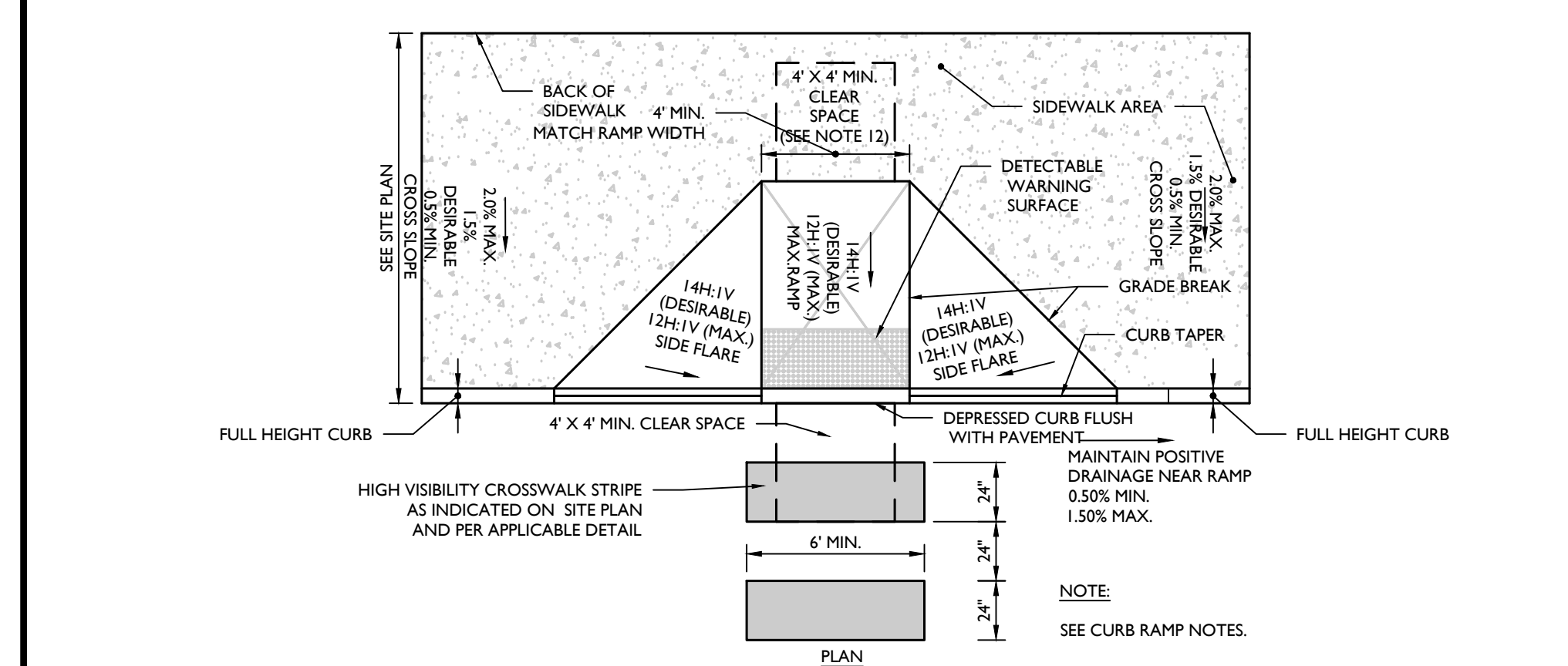
SHEET TITLE: **LANDSCAPE PLAN**

SHEET NUMBER: 10 of 16

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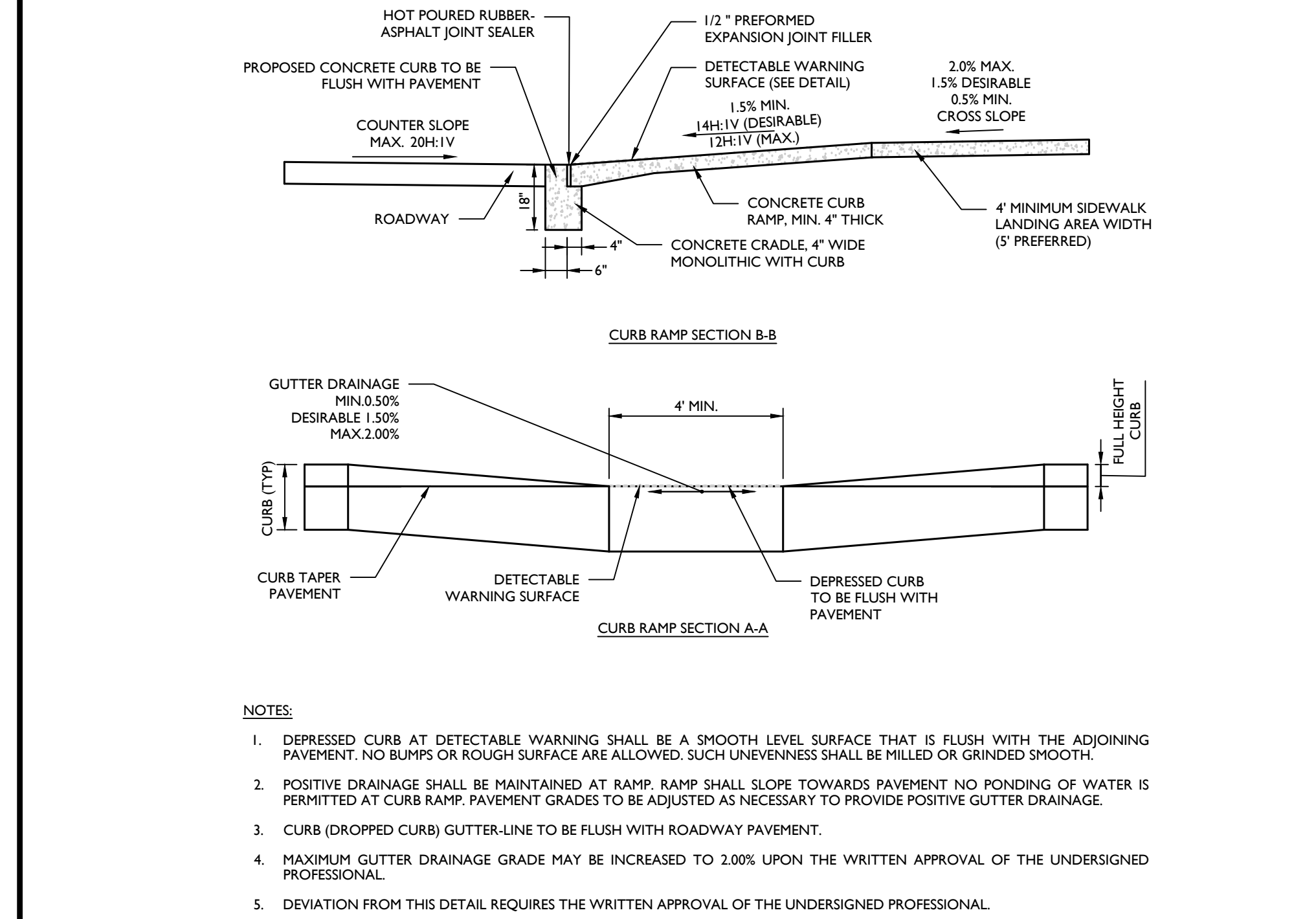
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**CURB RAMP
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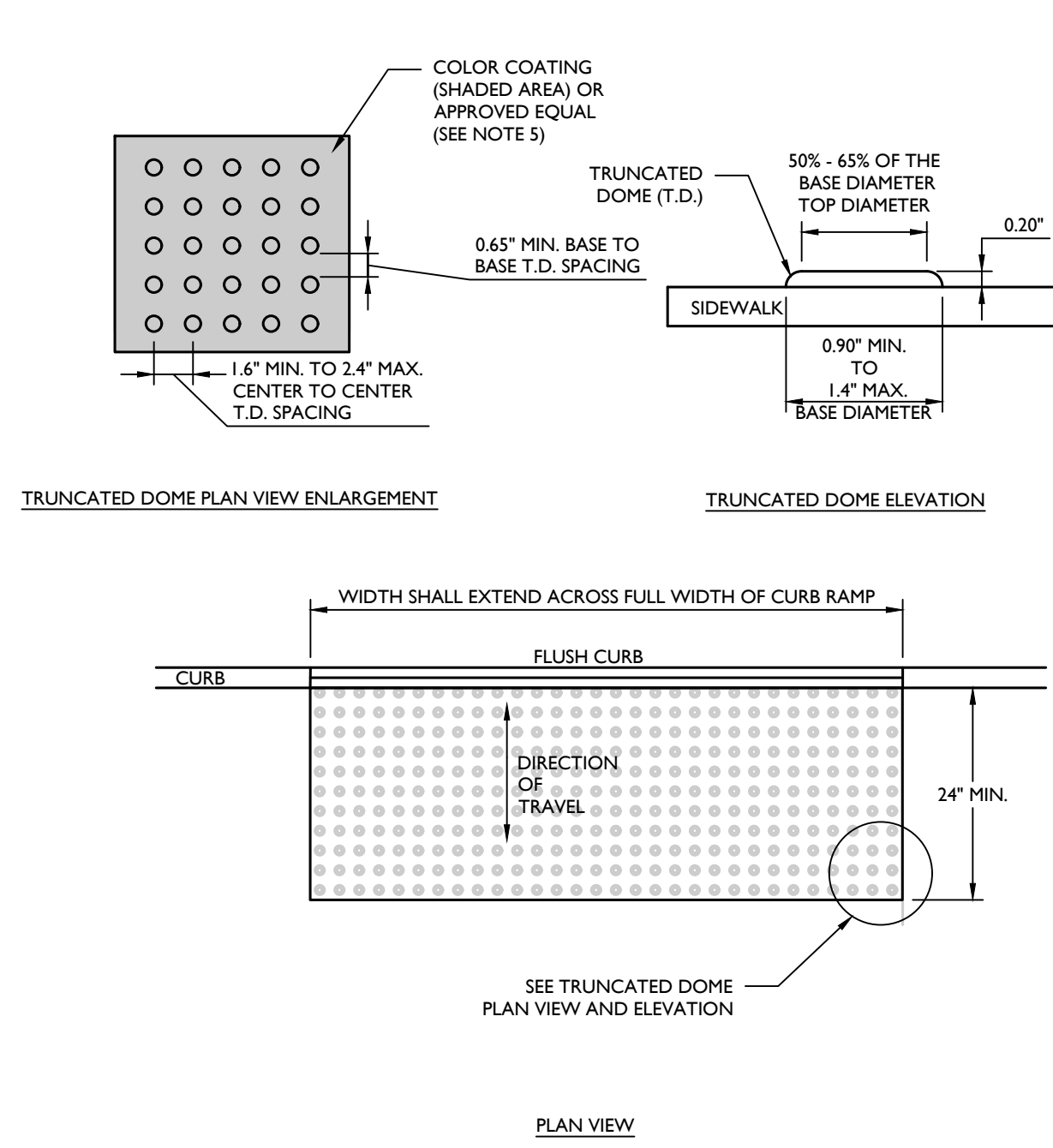
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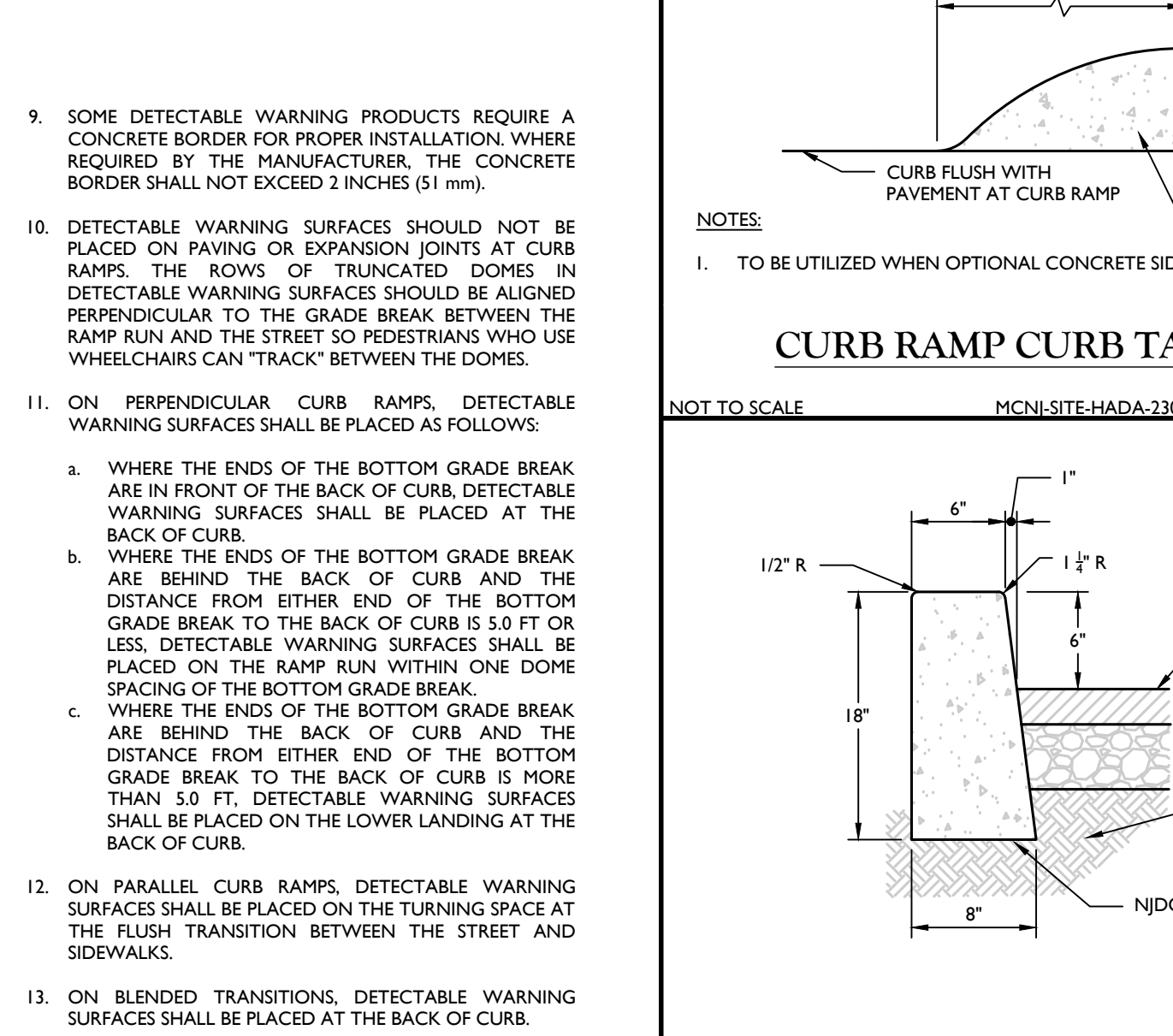
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TYPE 5 DETAIL**
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**CURB RAMP
TYPE 7 DETAIL**
MCN1-SITE-HADA-1600

05/01/17 NOT TO SCALE



NOTES:

- CONTRACTOR SHALL PREPARE SHOP DRAWINGS OF EACH CURB RAMP FOR SUBMISSION AND APPROVAL OF THE UNDERSIGNED PROFESSIONAL AND THE MUNICIPAL COUNTY, STATE OR OTHER AGENCY'S ENGINEER HAVING JURISDICTION.
- LANDING AREA, APPROACH SIDEWALK TRANSITIONS AND CURB RAMP SHALL BE KEPT CLEAR OF OBSTRUCTIONS.
- CURB AT RAMP OPENING (FLUSH CURB) TO BE FLUSH WITH ROADWAY PAVEMENT.
- CROSSWALKS AND PAVEMENT MARKINGS TO BE INSTALLED AS DENOTED ON SITE PLAN.
- MAXIMUM RAMP SLOPE MAY BE 12H:1V UPON APPROVAL OF ENGINEER. RAMP SLOPES SHOWN ARE THE PREFERRED SLOPE. SIDE FLARE SLOPES MAY BE 10H:1V UPON APPROVAL OF THE ENGINEER.
- MINIMUM RAMP CROSS-SLOPE SHALL BE 0.50%. THE MAXIMUM RAMP CROSS-SLOPE MAY BE 2.00% UPON APPROVAL OF THE ENGINEER. CROSS-SLOPES SHOWN IN THE DETAILS ARE THE PREFERRED SLOPES TO MAINTAIN A LEVEL OF CONSTRUCTION TOLERANCE.
- ACCESSIBLE RAMP SHALL BE INSTALLED PURSUANT WITH THE CURRENT UNITED STATES ACCESS BOARD ACCESSIBILITY GUIDELINES FOR PEDESTRIAN FACILITIES AND THE ADA STANDARDS FOR ACCESSIBLE DESIGN AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE AND OTHER APPLICABLE LOCAL AND STATE STANDARDS IN EFFECT AT THE DATE OF CONSTRUCTION.
- DEVIATIONS FROM THE CURB RAMP DETAILS REQUIRE WRITTEN APPROVAL OF THE UNDERSIGNED PROFESSIONAL AND THE MUNICIPAL COUNTY, STATE OR OTHER AGENCY'S ENGINEER HAVING JURISDICTION.
- THE RAMP SURFACE SHALL HAVE A NON-SUP. HAND BROOMED FINISH.
- CONCRETE EXPANSION JOINTS SHALL HAVE A FIRM SURFACE WITH 1" BEVELLED CONCRETE EDGES. THE JOINT SURFACE SHALL NOT BE MORE THAN 1" BELOW THE ADJOINING CONCRETE SURFACE.
- CURB RAMP MUST BE WHOLLY CONTAINED WITHIN THE CROSSWALK CROSSING.
- THE CLEAR SPACE SHALL BE INCREASED TO 5 FEET WHERE THE TURNING SPACE IS CONSTRAINED AT THE BACK OF THE SIDEWALK.
- THE MAXIMUM SEPARATION BETWEEN THE BACK OF CURB AND DETECTABLE WARNING SURFACE SHALL NOT EXCEED 5 FEET. THE MAXIMUM SEPARATION AREA MAY BE WITHIN THE 4' X 4' CLEAR SPACE.
- SEE SEPARATE DETAILS FOR "DETECTABLE WARNING SURFACE" AND "CURB RAMP SECTION".
- WHERE SIDE FLARES ARE NOT REQUIRED, PROVIDE AN 18" CURB TAPER TO THE FLUSH CURB.
- ALL CURB RAMP FLUSH CURB SHALL BE MADE WITH CONCRETE CURB CRADLE, REGARDLESS OF THE CURB MATERIAL USED THROUGHOUT THE SITE.

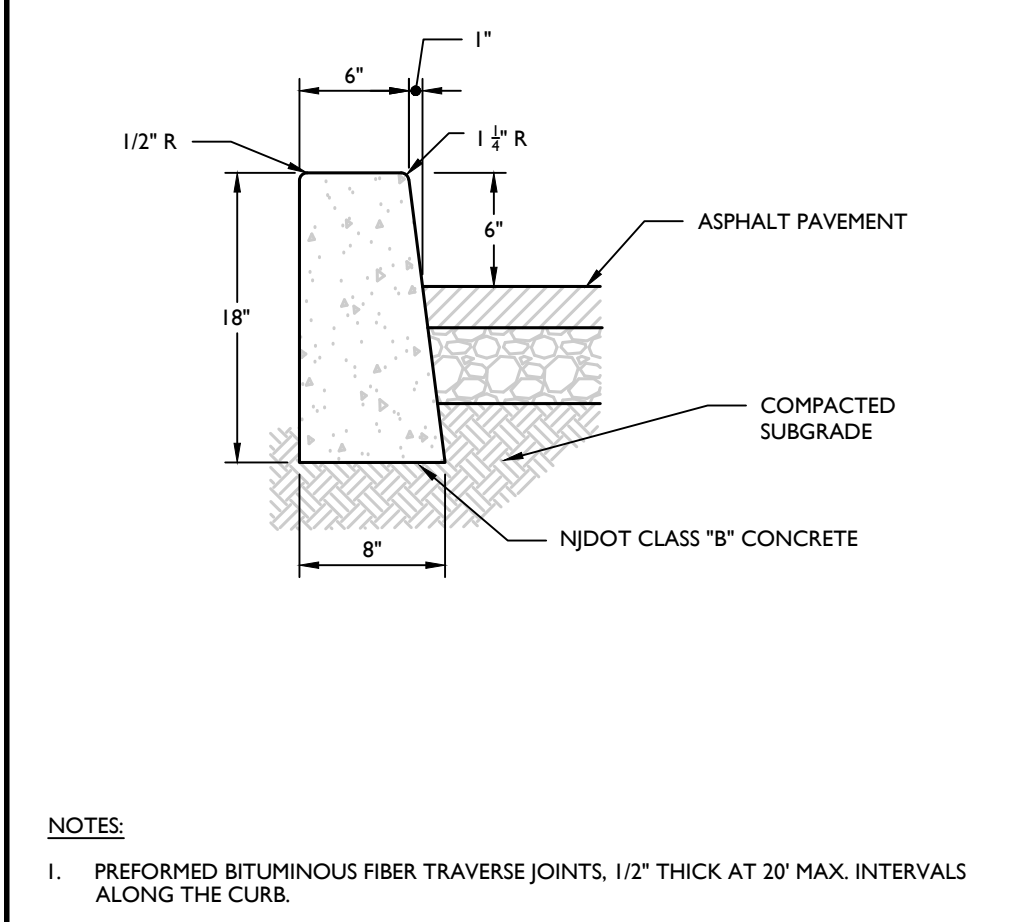
CURB RAMP CURB TAPER DETAIL
MCN1-SITE-HADA-2301

NOT TO SCALE

05/01/17

**CURB RAMP
NOTES**
MCN1-SITE-HADA-2500

10/01/18



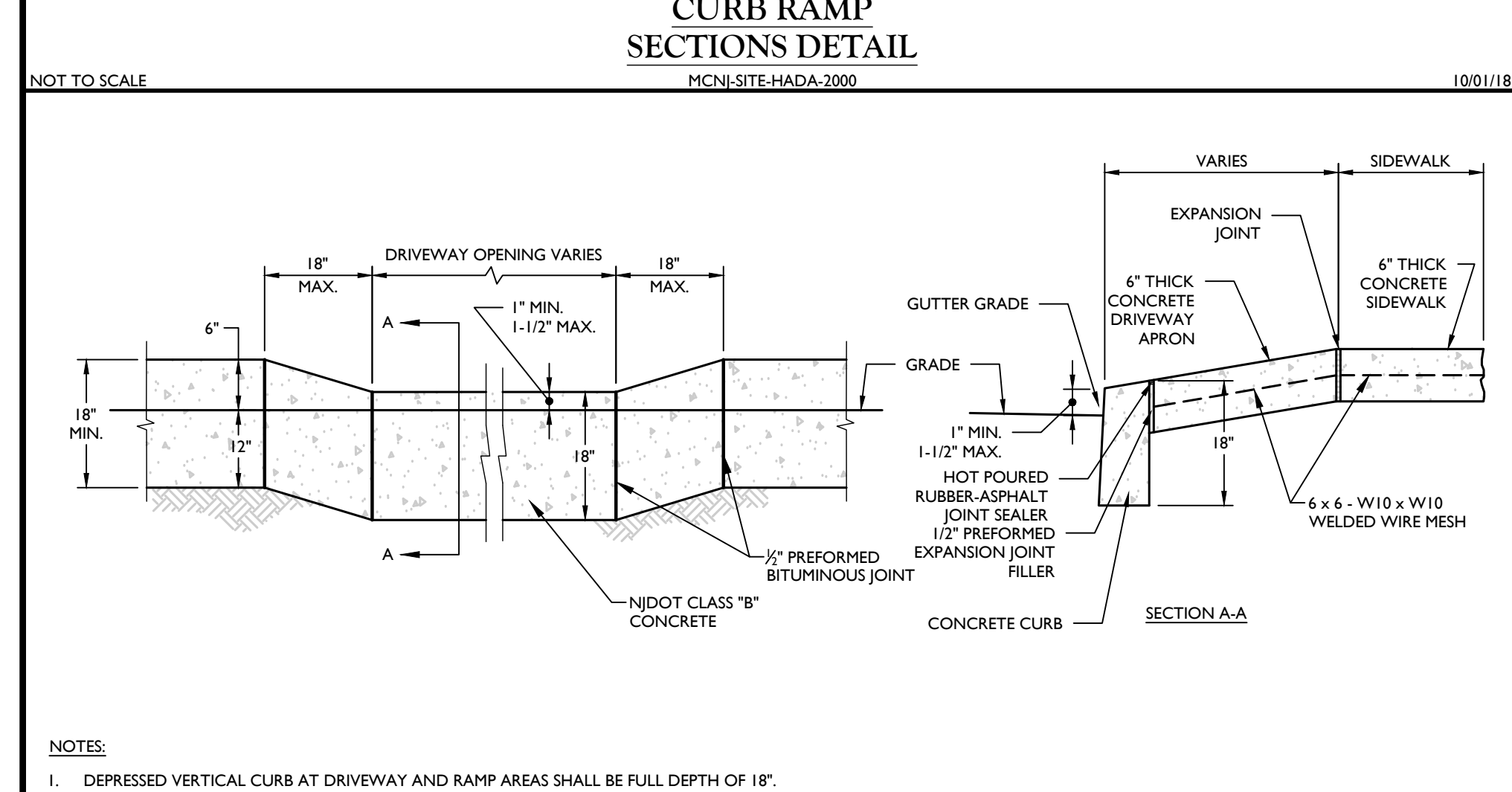
CONCRETE CURB (ASPHALT PAVEMENT) DETAIL
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05/01/18

05/01/17

FLUSH CURB AND CRADLE DETAIL
MCN1-SITE-HADA-2900

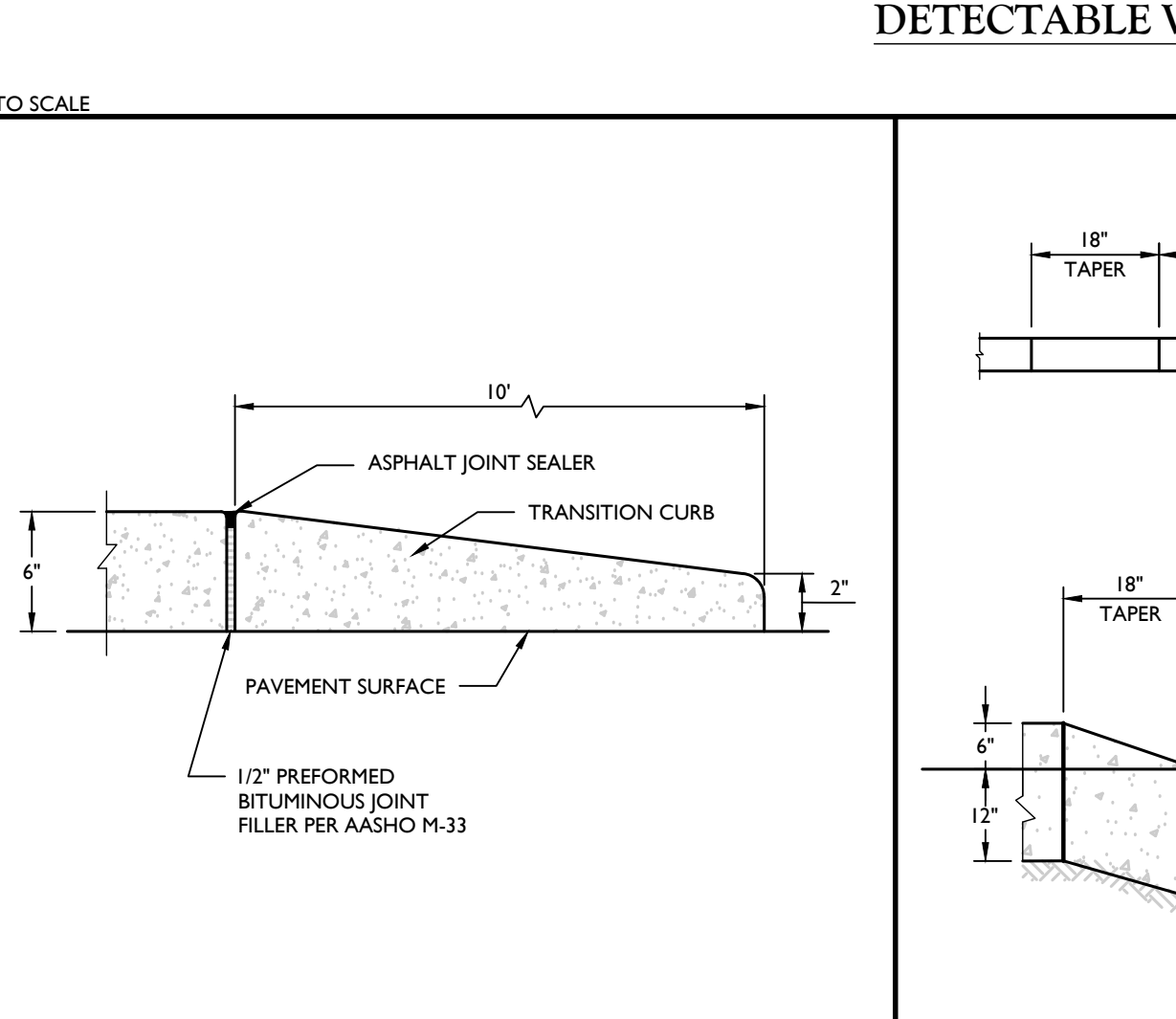
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**CURB RAMP
SECTIONS DETAIL**
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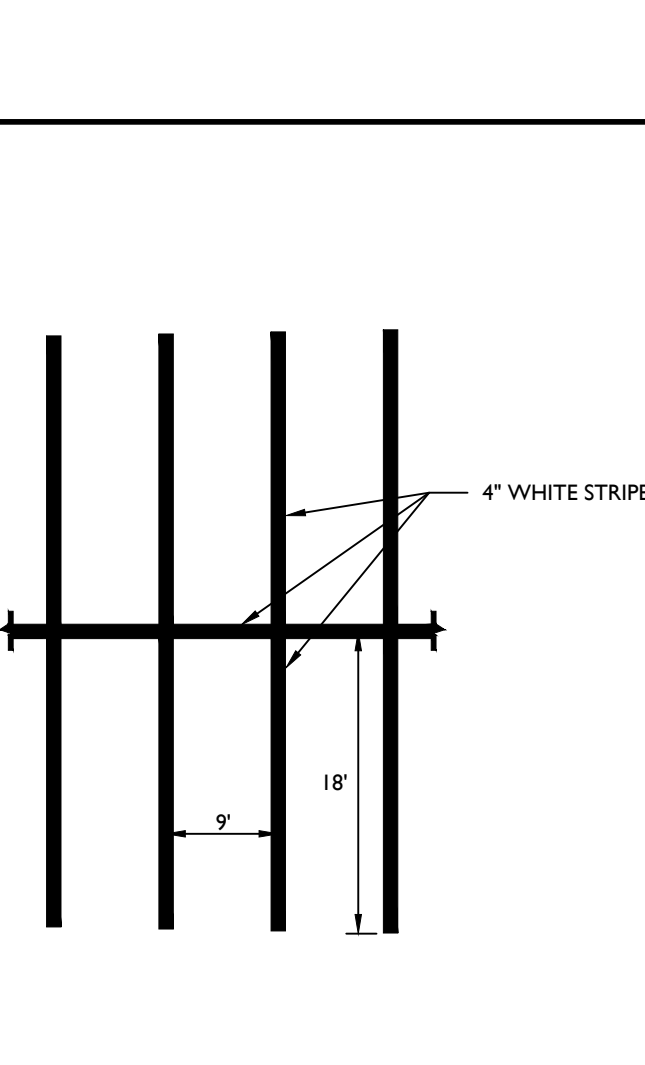
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DETECTABLE WARNING SURFACE DETAIL
MCN1-SITE-HADA-2100

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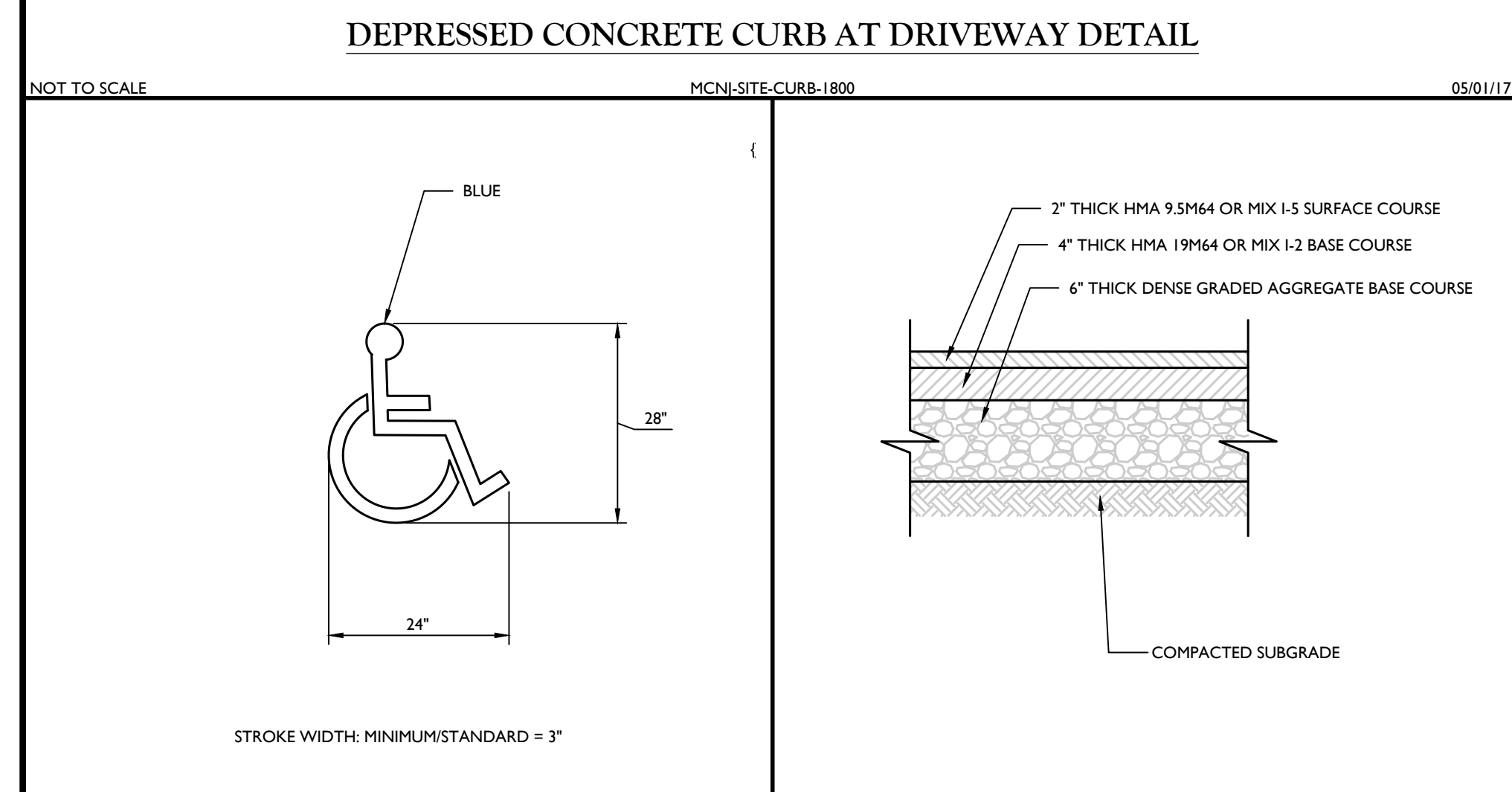
TYPICAL PARKING STALL DETAIL
MCN1-SITE-MRKG-1000

05/01/17

TYPICAL ACCESSIBLE PARKING LAYOUT (WITH SIDEWALK) DETAIL
MCN1-SITE-MRKG-1900

NOT TO SCALE

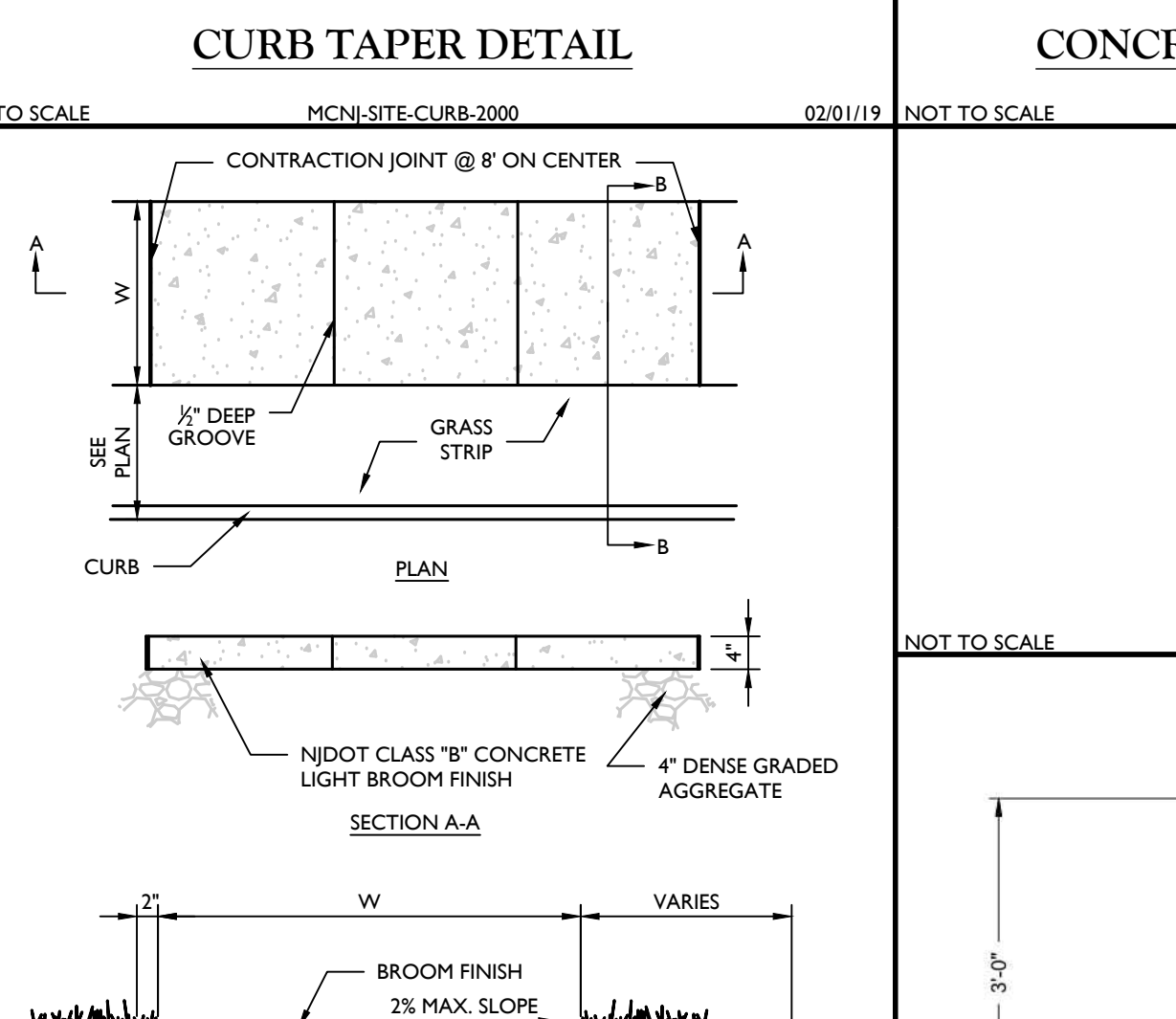
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DEPRESSED CONCRETE CURB AT DRIVEWAY DETAIL
MCN1-SITE-CURB-1800

NOT TO SCALE

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CURB TAPER DETAIL
MCN1-SITE-CURB-1400

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CONCRETE FLUSH CURB DETAIL
MCN1-SITE-CURB-1400

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02/01/19

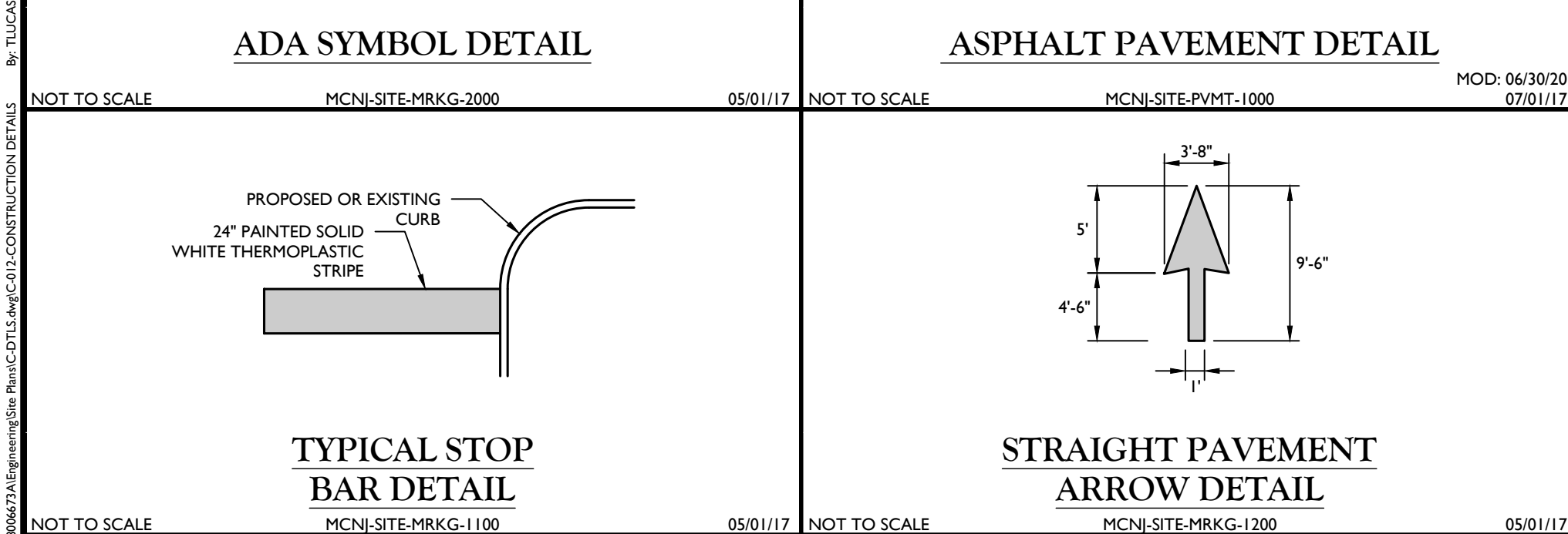
TYPICAL PARKING STALL DETAIL
MCN1-SITE-MRKG-1000

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TYPICAL ACCESSIBLE PARKING LAYOUT (WITH SIDEWALK) DETAIL
MCN1-SITE-MRKG-1900

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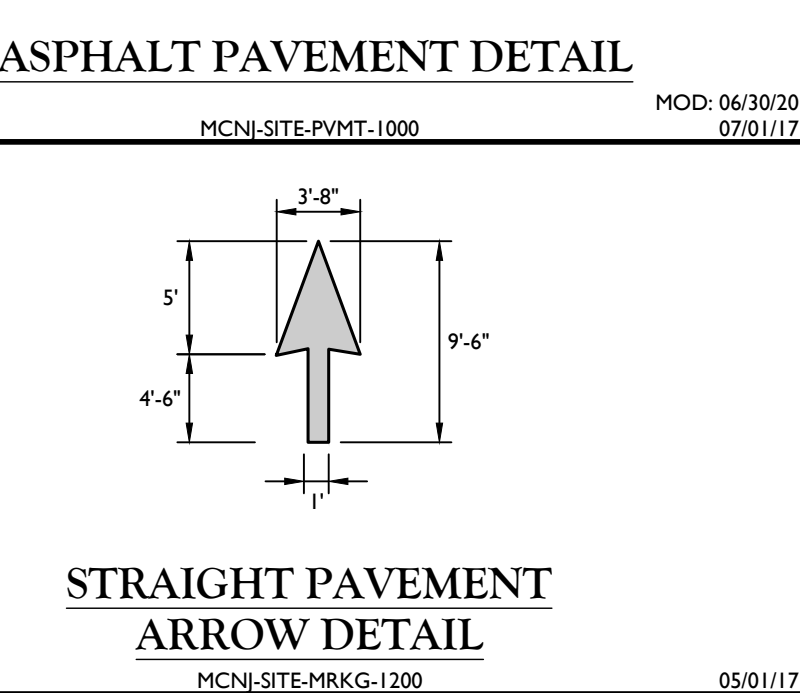
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ADA SYMBOL DETAIL
MCN1-SITE-MRKG-2000

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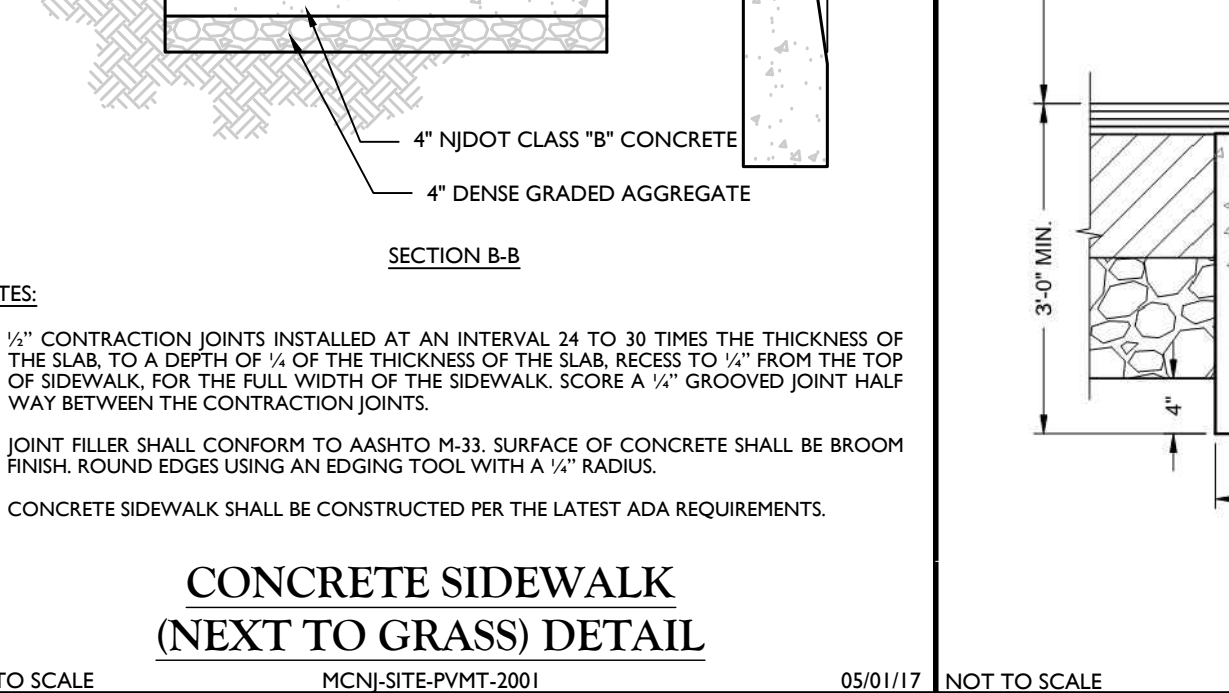
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ASPHALT PAVEMENT DETAIL
MCN1-SITE-PMNT-1000

NOT TO SCALE

MOD: 06/30/20
07/01/17



CONCRETE SIDEWALK (NEXT TO GRASS) DETAIL
MCN1-SITE-PMNT-2001

NOT TO SCALE

BOLLARD DETAIL
GNRL-DTLS-STNG-GRD

NOT TO SCALE

7/1/2020

ACCESSIBLE PARKING SIGN DETAIL
MCN1-SITE-SIGN-4000

NOT TO SCALE

R7-8 SIGN DETAIL
MCN1-SITE-SIGN-1601

NOT TO SCALE

07/01/19

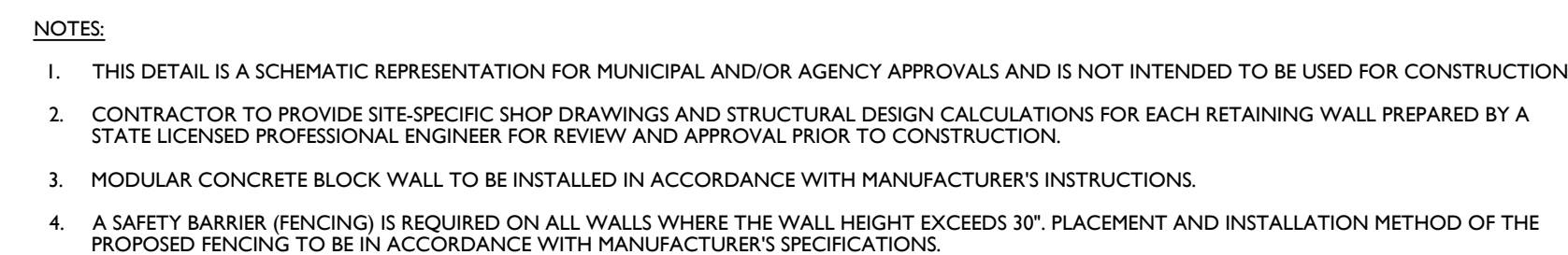
R5-11 SIGN DETAIL
MCN1-SITE-SIGN-1602

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07/01/19

REV	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION
1	04/03/18	TL	REVISION RE: ANNOTATED RAMP REVIEW			
2	01/09/18	TL	REVISED FOR SANITARY FIXTURES			
3	02/05/18	TL	REVISED PER USDOT COMMENTS ON WETLAND DELINEATION			
4	07/03/18	TL	REVISED PER MUNICIPAL COMMENTS AND UTILITY PRECIFICATIONS			

MARK LESCAGUE
 NEW JERSEY PROFESSIONAL ENGINEER - LICENSE NUMBER: GE40346
 PRELIMINARY AND FINAL MAJOR SITE PLAN
 FOR
ALL AMERICAN ASSISTED LIVING OF TINTON FALLS
 BLOCK 124.63, LOT 30.01
 1530 WEST PARK AVE
 BOROUGH OF TINTON FALLS
 MONMOUTH COUNTY
 NEW JERSEY
 RED BANK OFFICE
 Corporate Headquarters
 331 Newman Springs Road
 Suite 200
 Red Bank, NJ 07701
 Phone: 732.383.1950
 Fax: 732.383.1984
 SCALE: AS SHOWN DATE: 03/27/2020 DRAWN BY: LMC CHECKED BY: DS
 PROJECT NUMBER: 1806675A DRAWING NAME: C-DTLLS
 SHEET TITLE: CONSTRUCTION DETAILS
 SHEET NUMBER: 12 of 16



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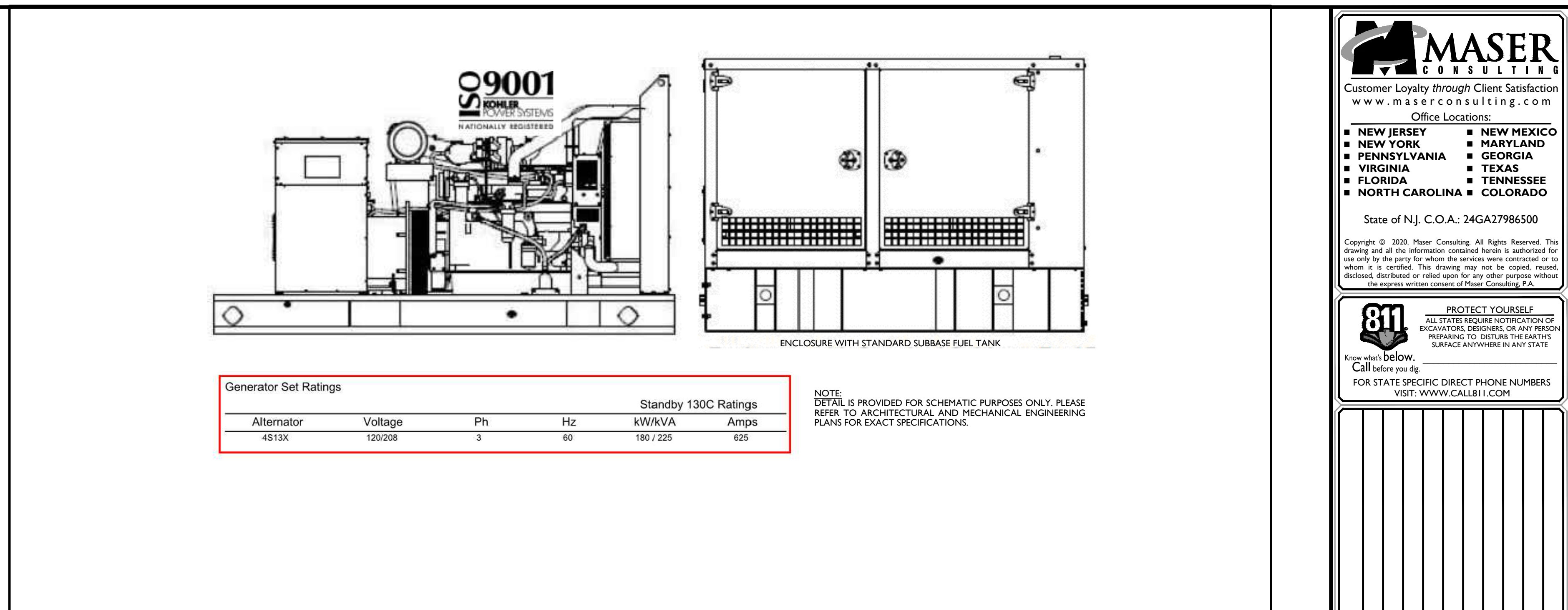
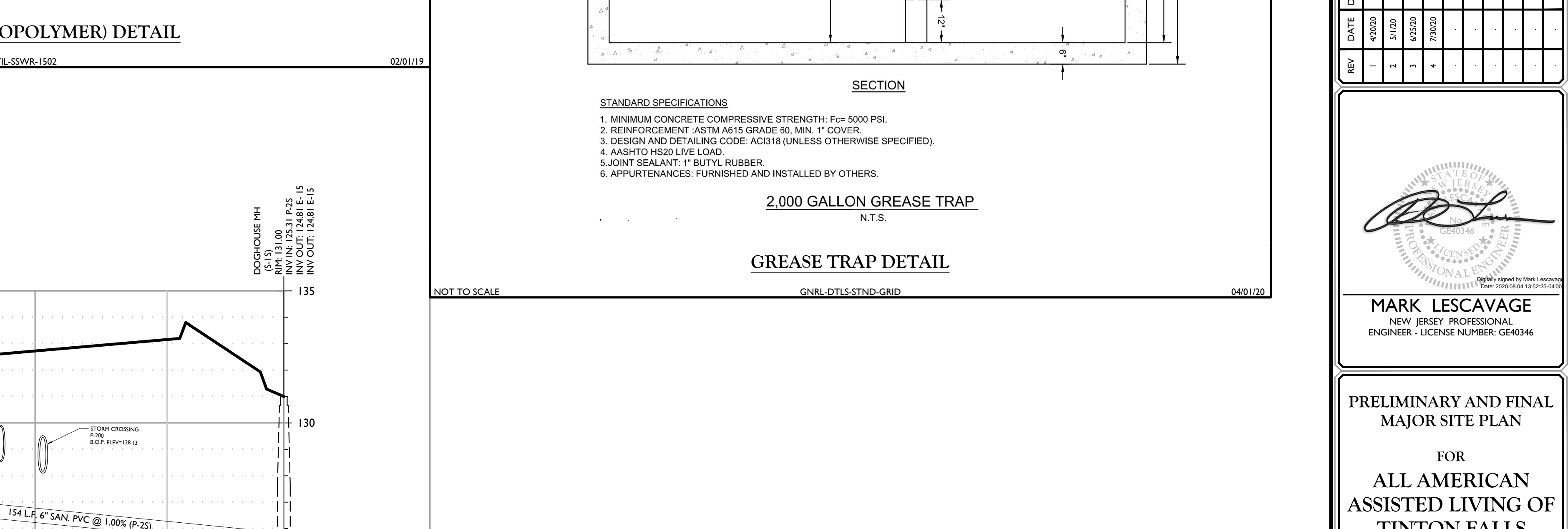


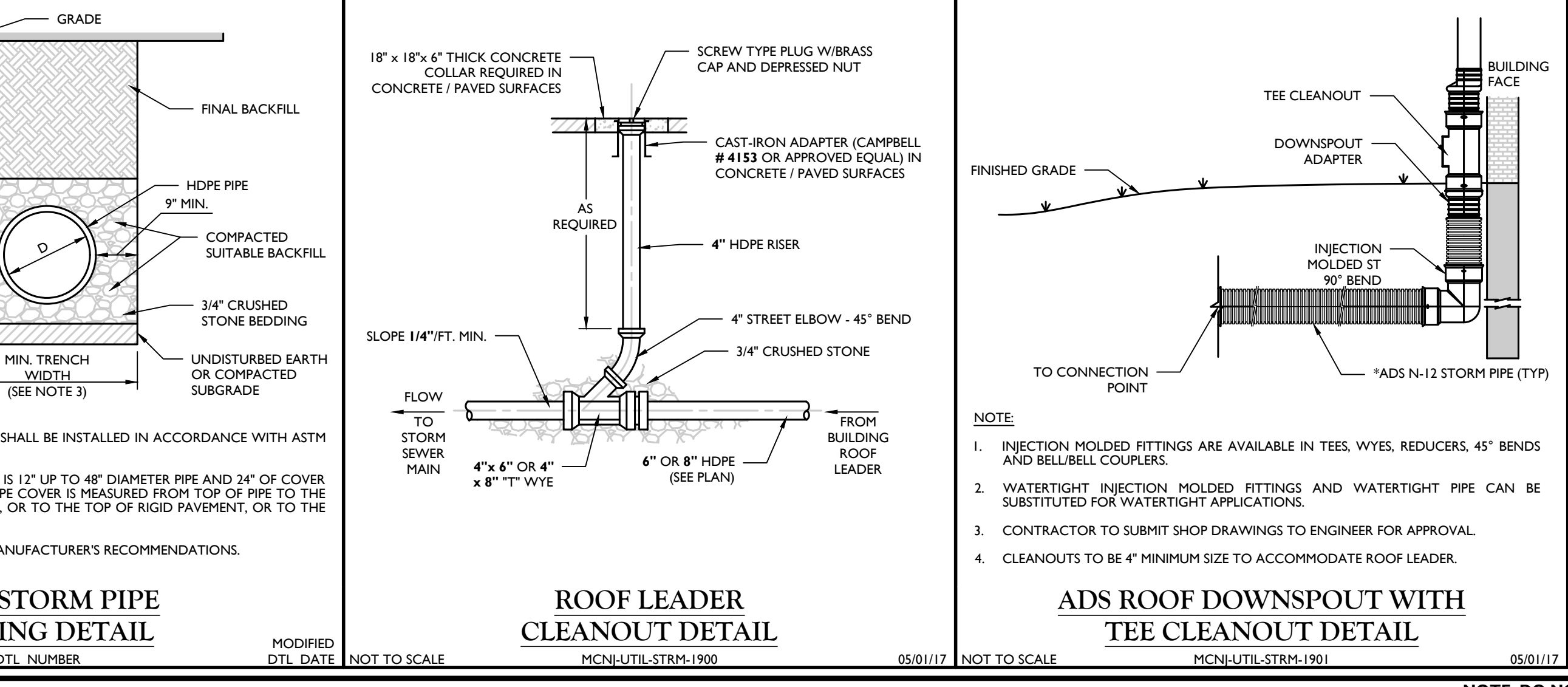
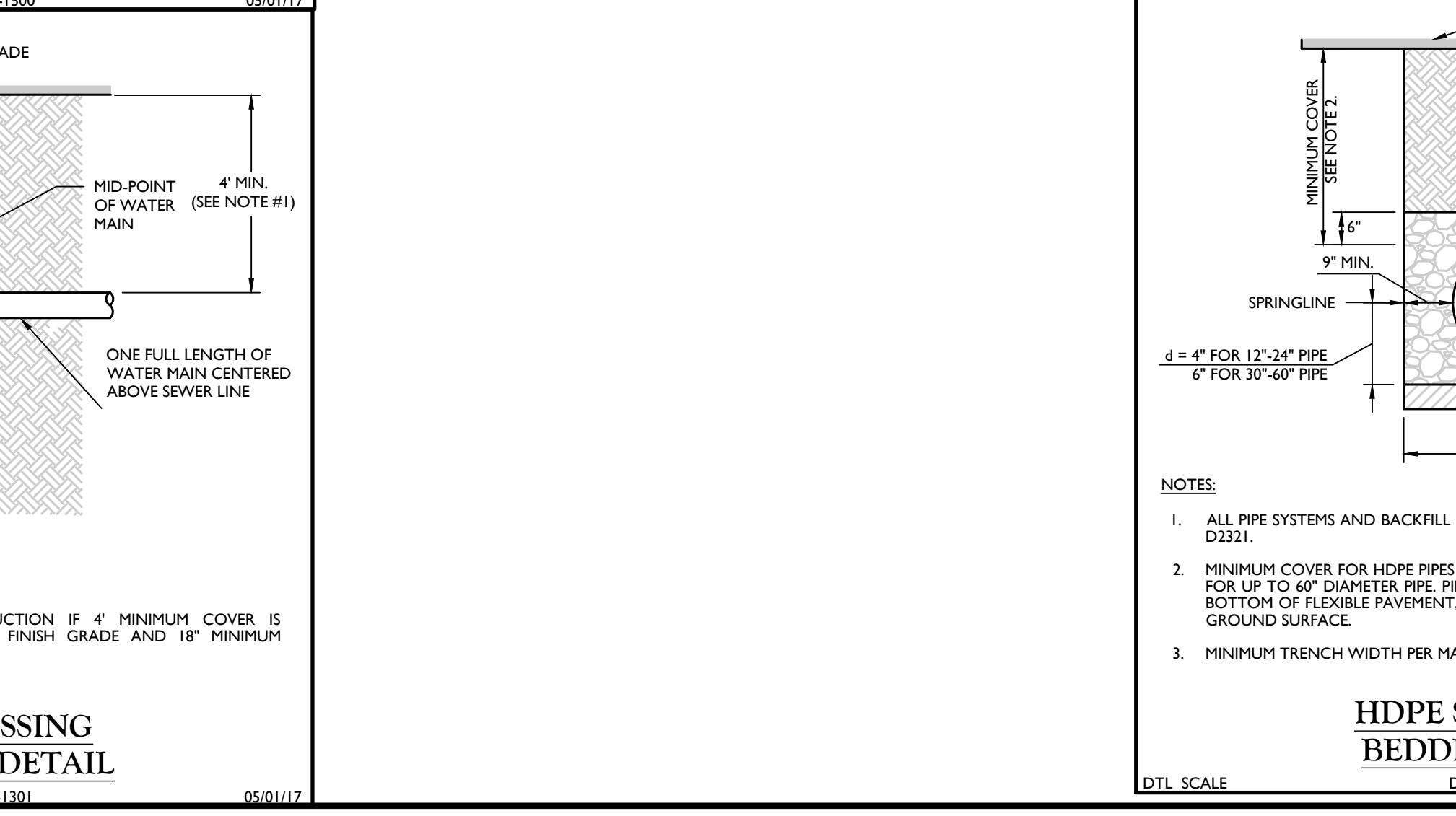
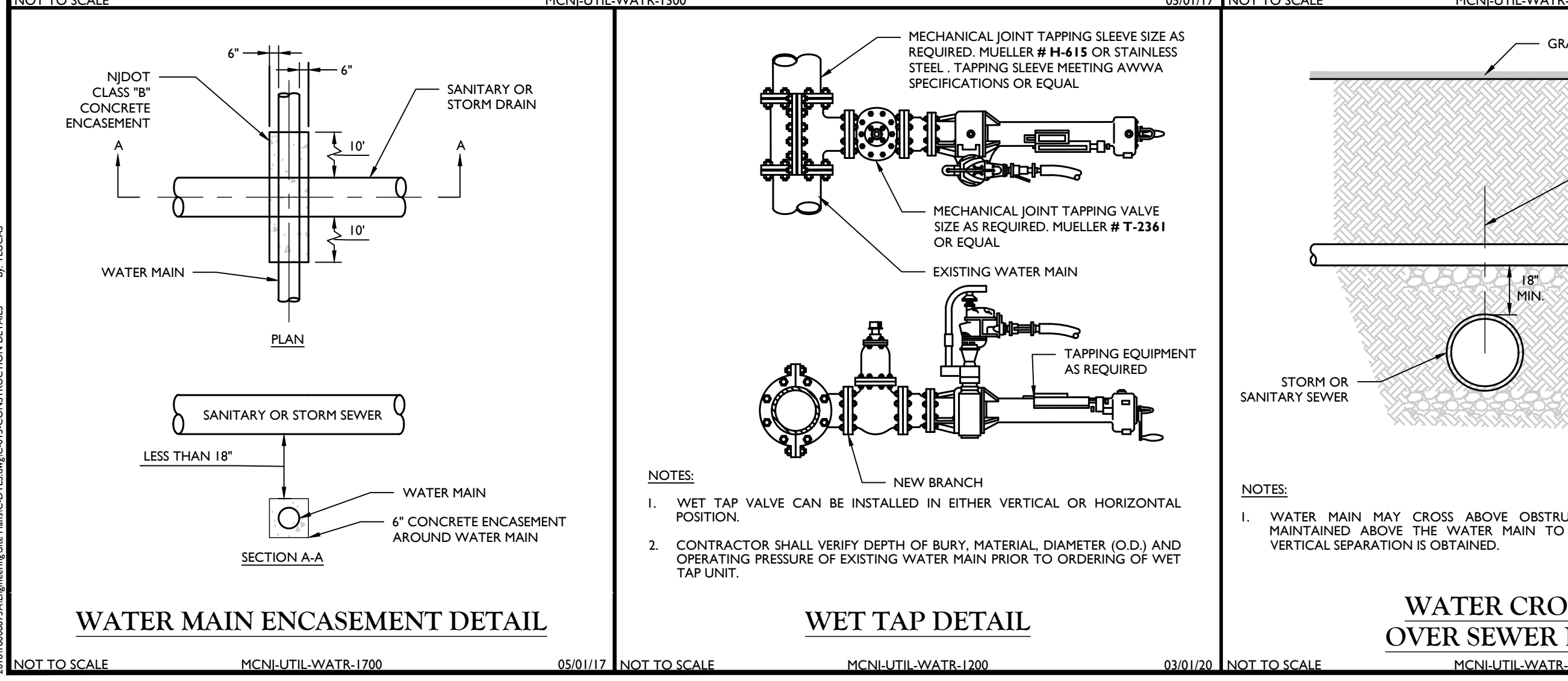
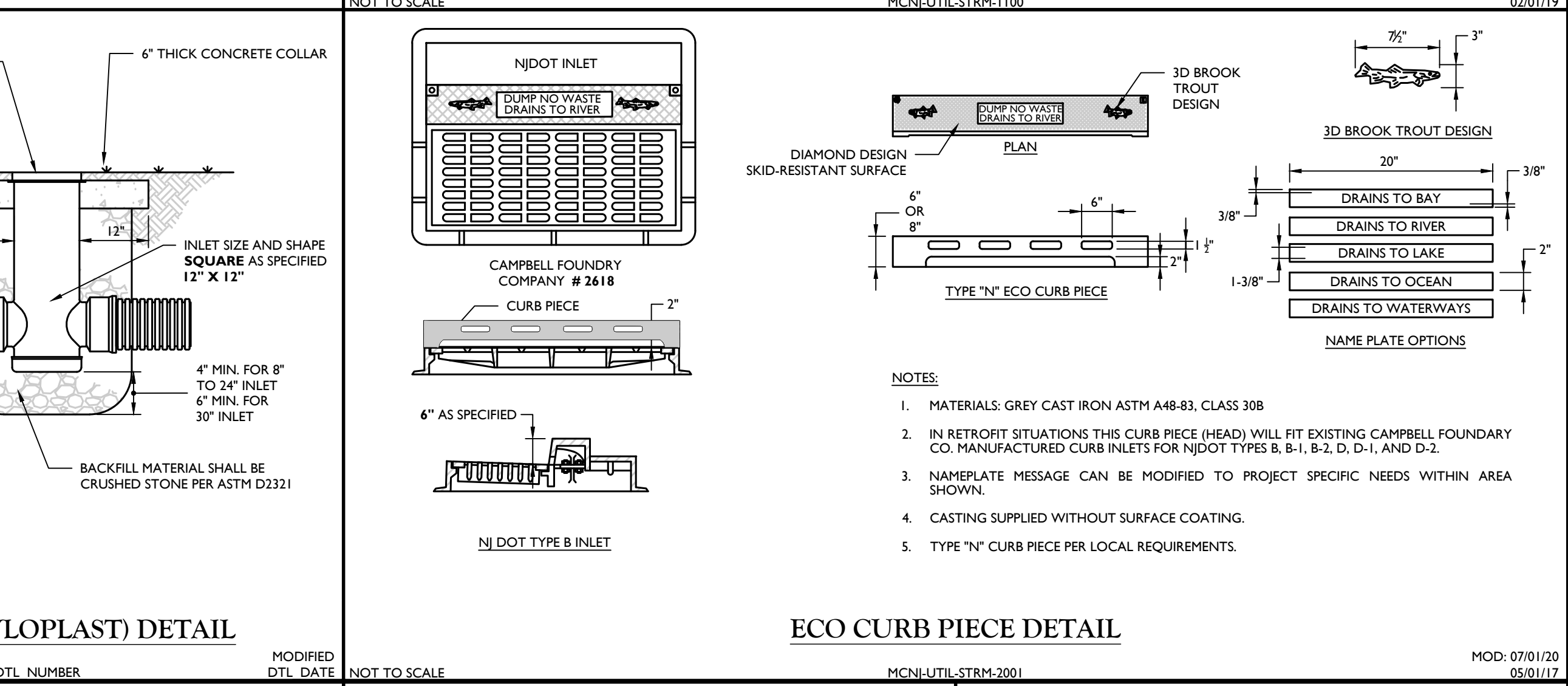
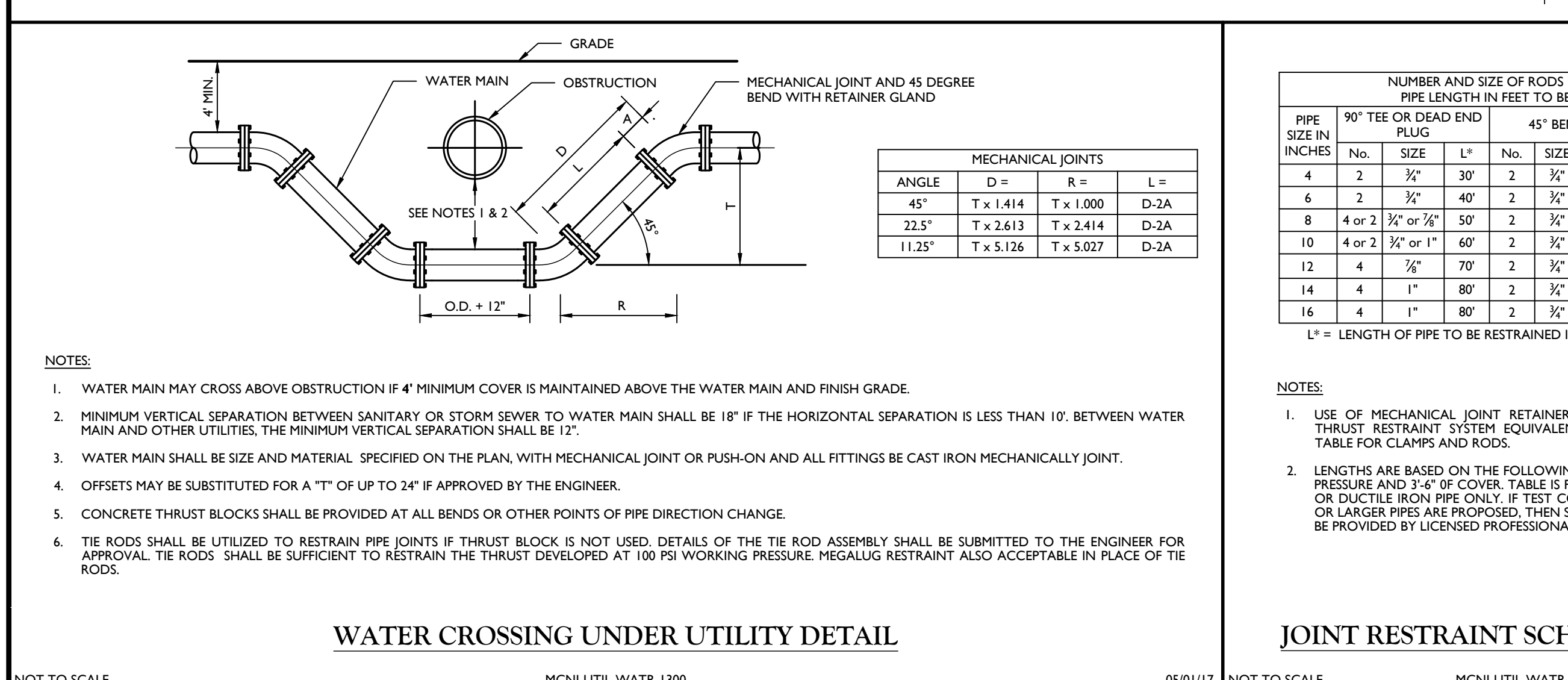
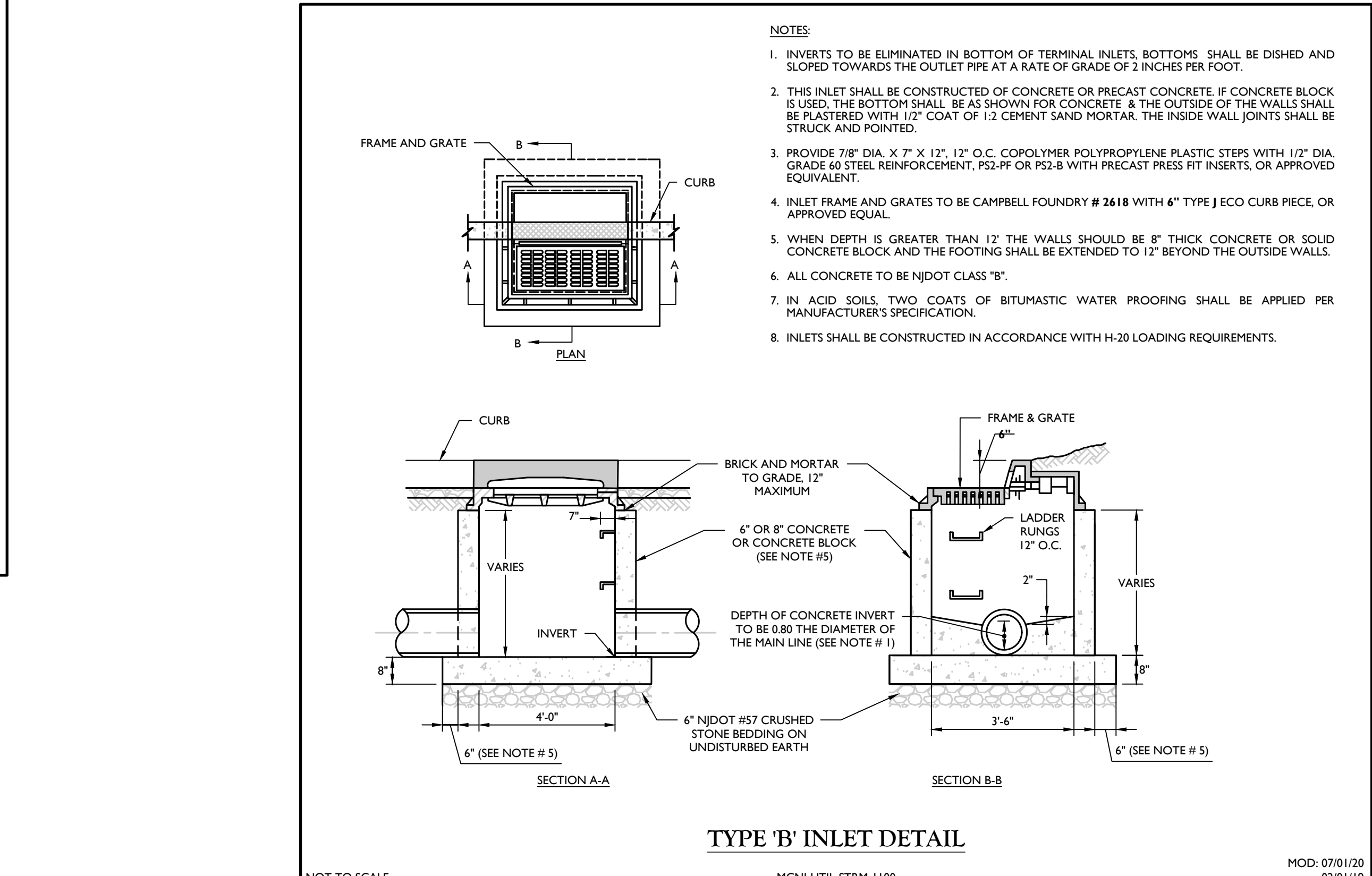
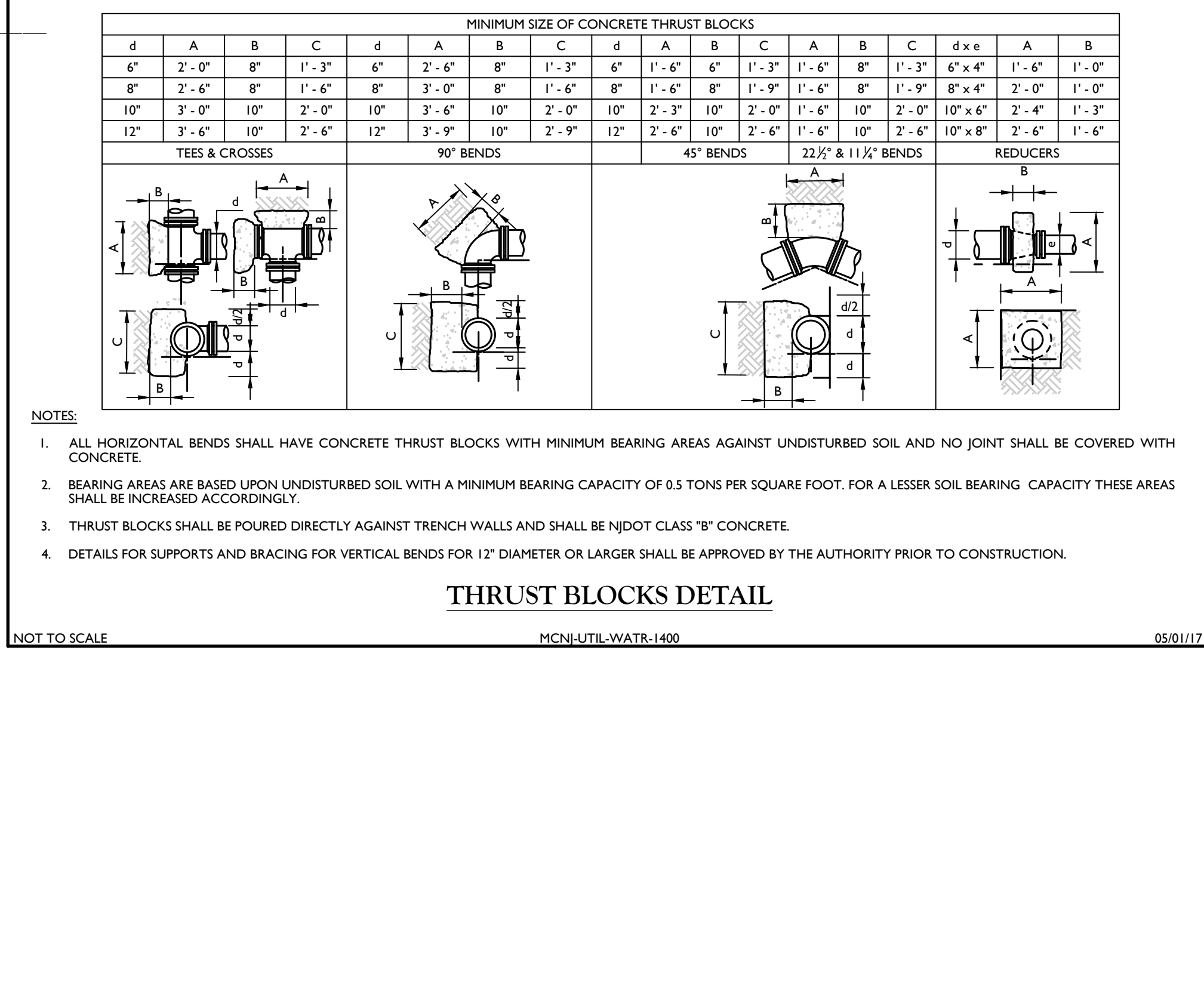
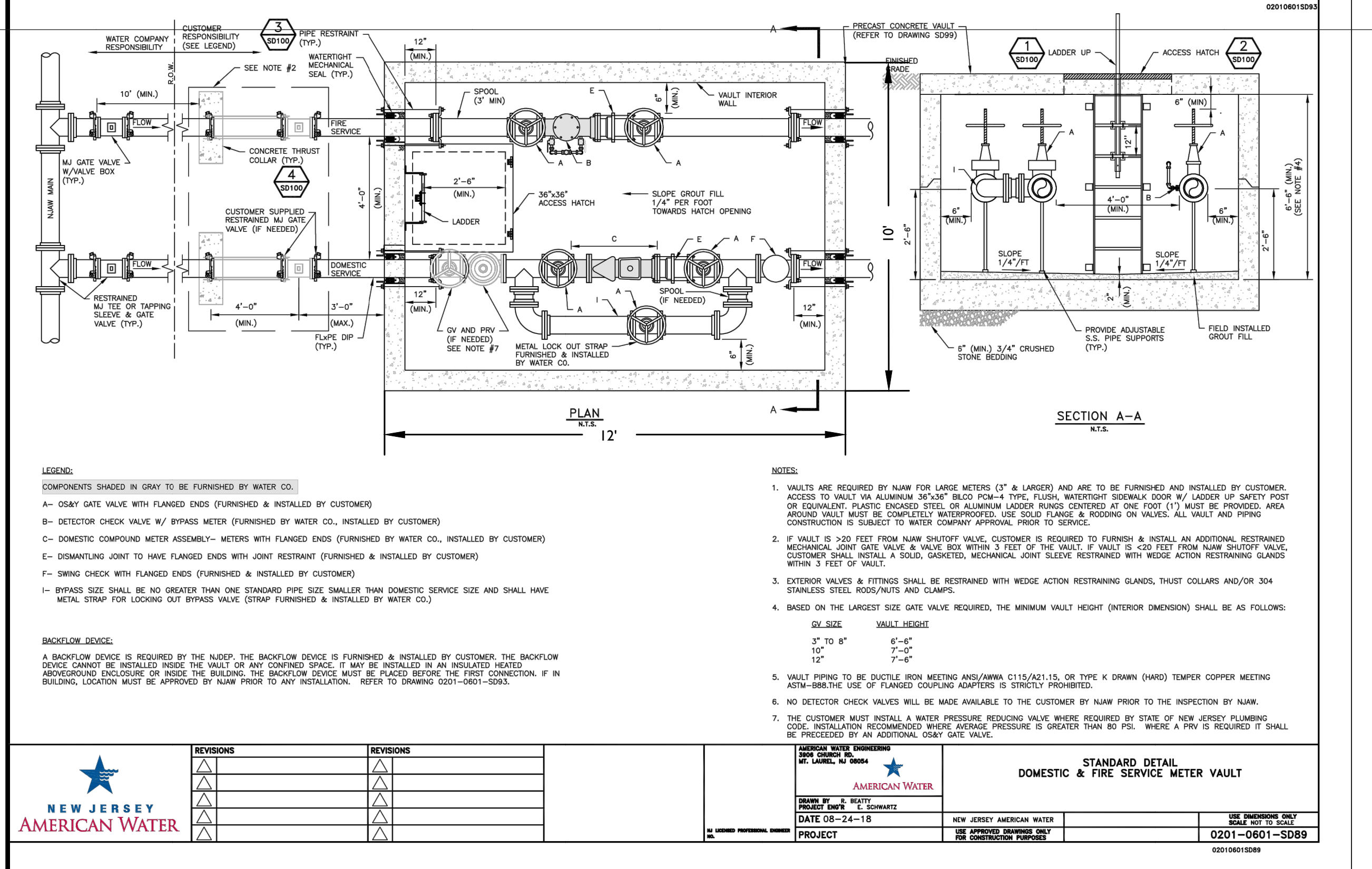
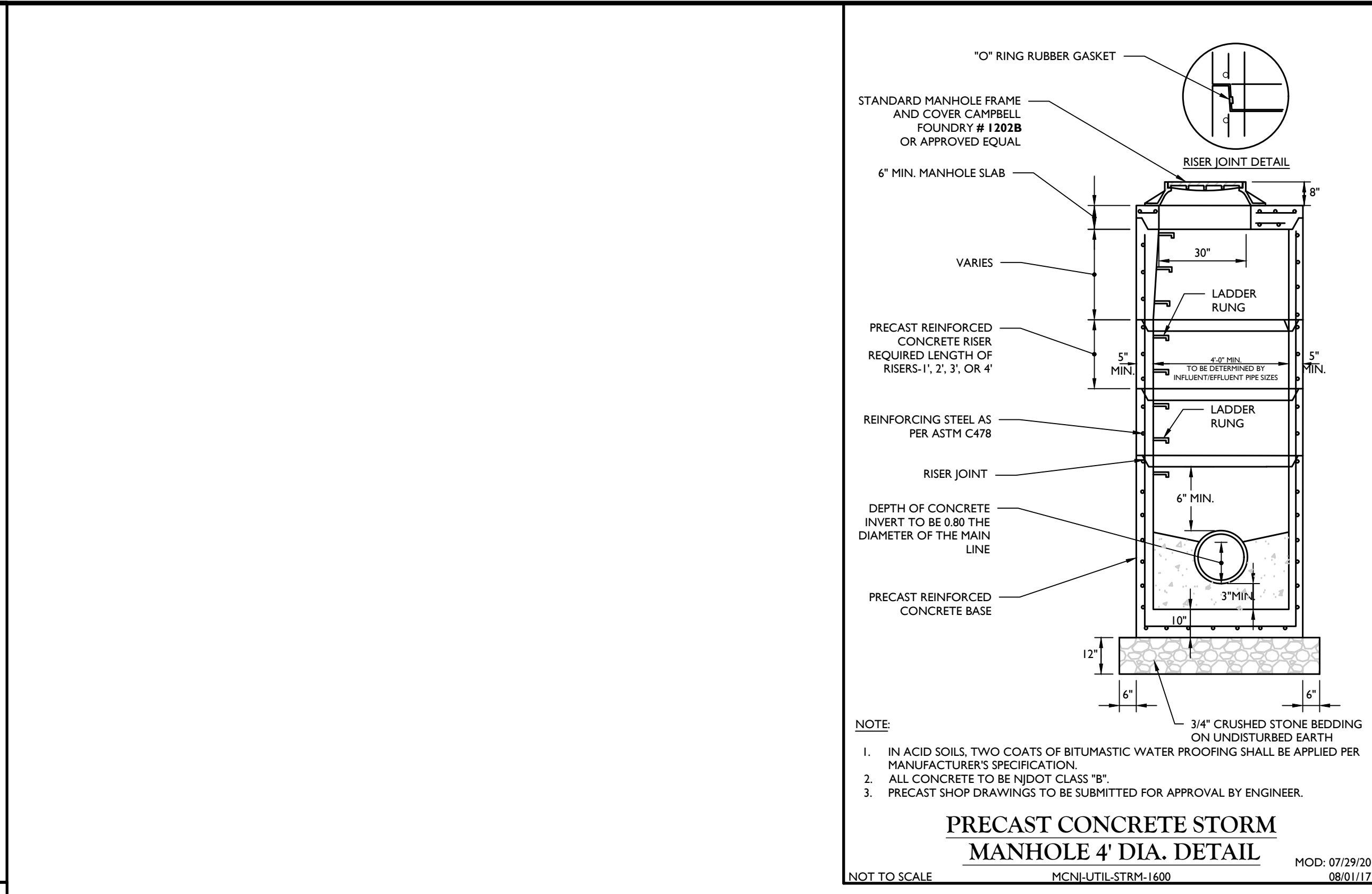
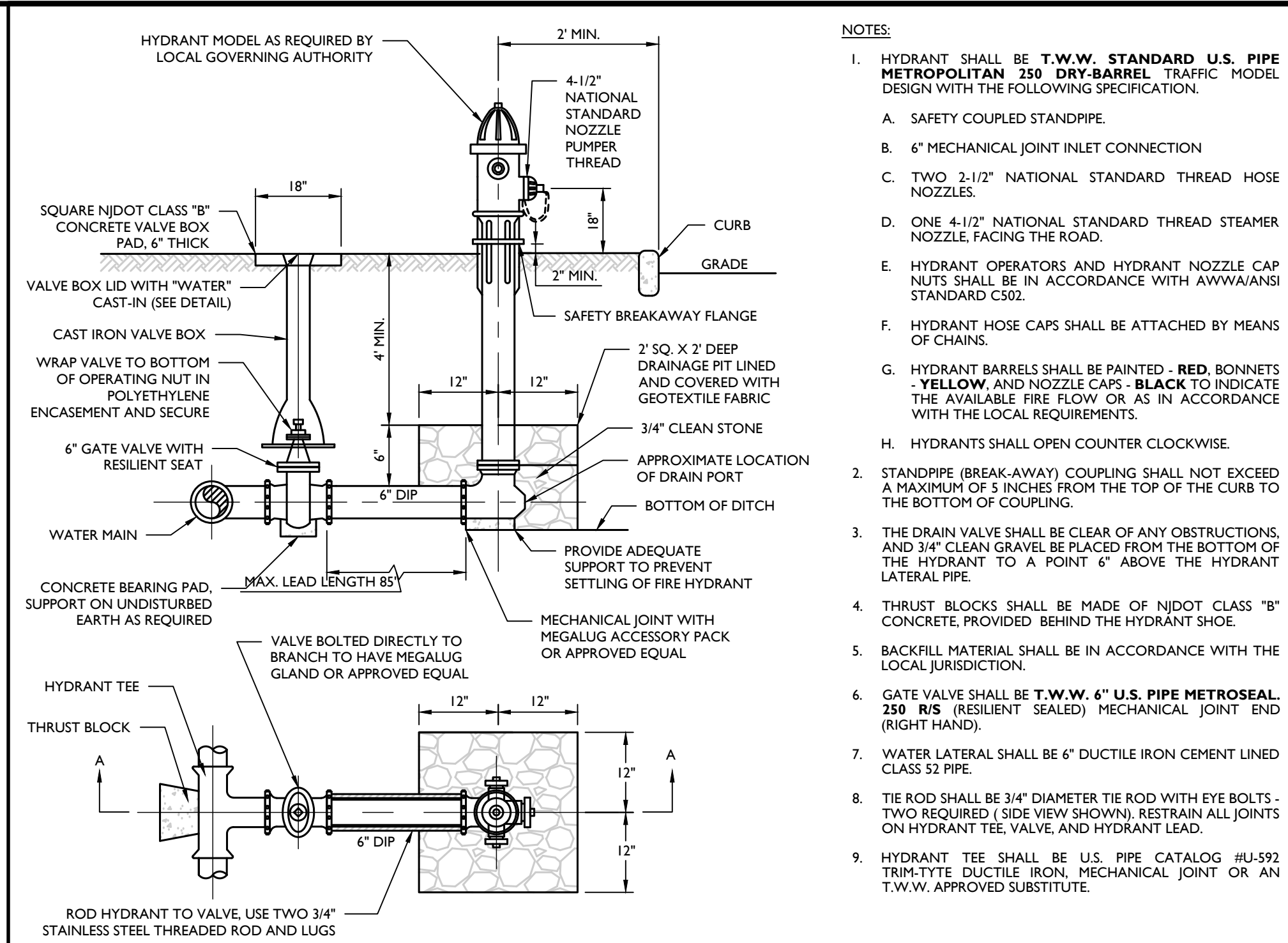
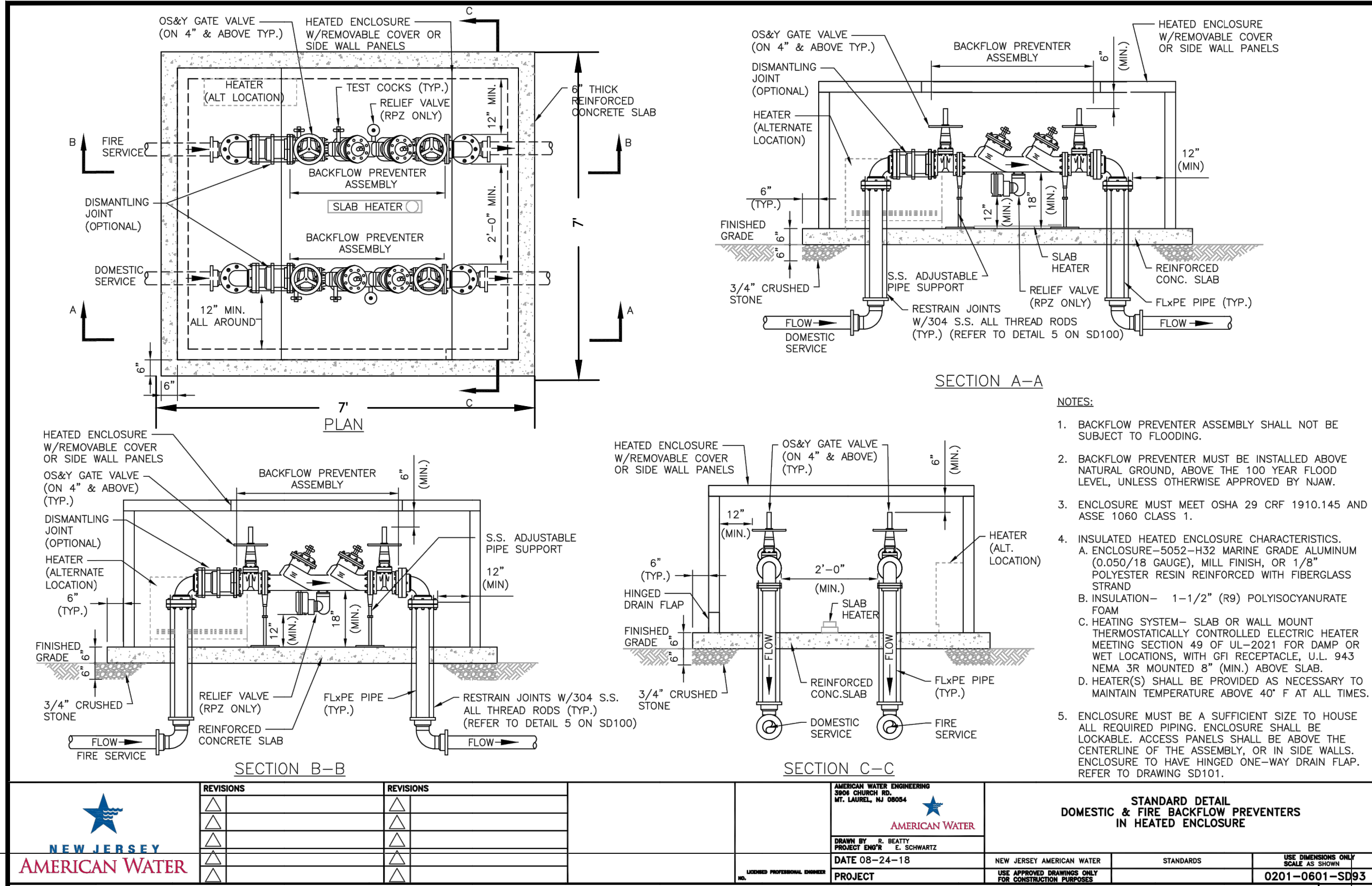
QUESTY TITLE.

CONSTRUCTION DETAILS

11

APPLIED POLYMER SYMPOSIA

[illegible]



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REV	DATE	DESCRIPTION
1	07/20/20	ISSUED FOR PERMIT
2	08/01/19	ISSUED FOR PERMIT
3	07/20/20	ISSUED FOR PERMIT
4	07/20/20	ISSUED FOR PERMIT

PRELIMINARY AND FINAL MAJOR SITE PLAN

FOR ALL AMERICAN ASSISTED LIVING OF TINTON FALLS

BLOCK 124.63, LOT 30.01
1530 WEST PARK AVE

BOROUGH OF TINTON FALLS
MONMOUTH COUNTY
NEW JERSEY

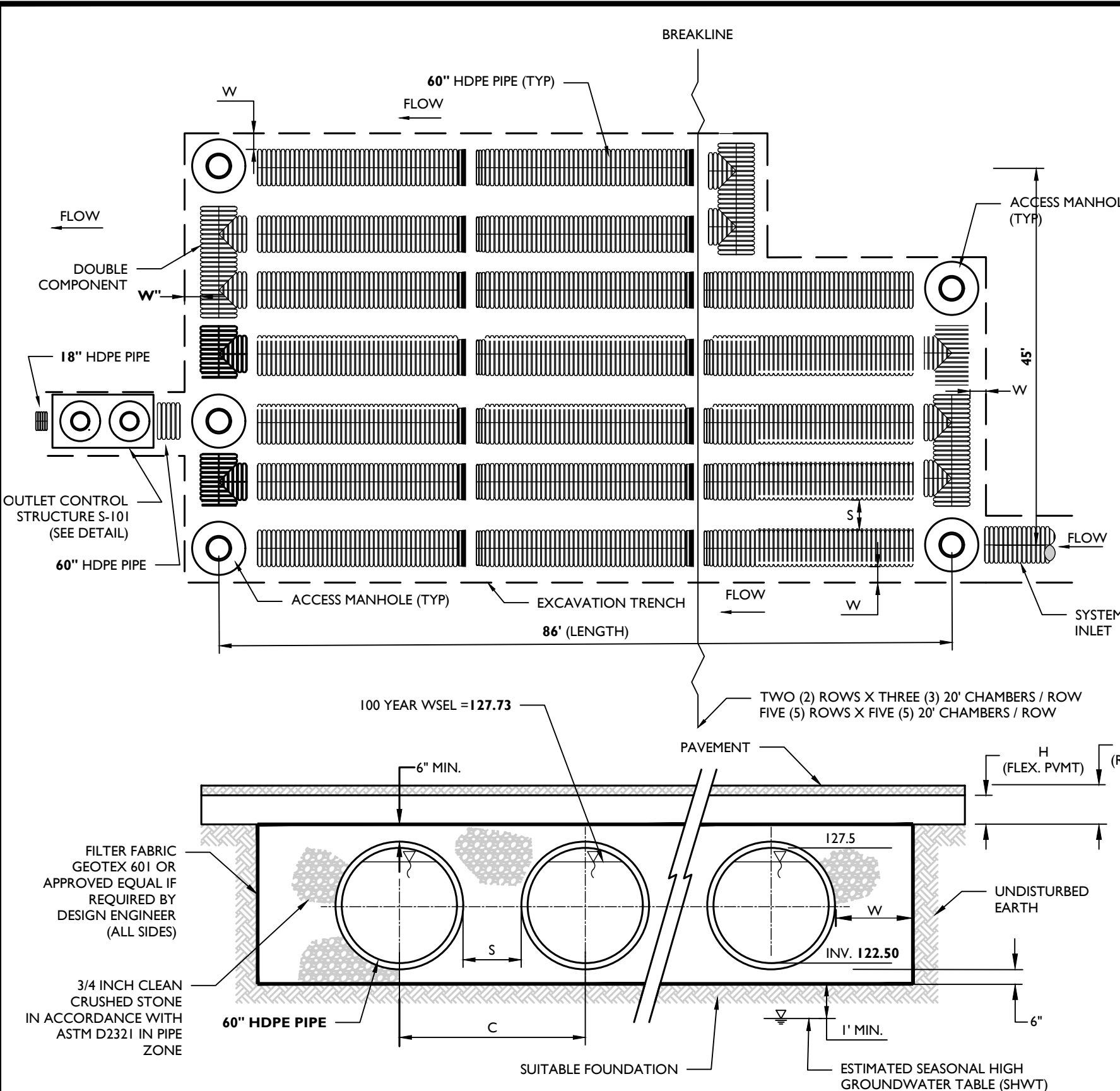
RED BANK OFFICE
Corporate Headquarters
331 Newman Springs Road
Suite 203
Red Bank, NJ 07701
Phone: 732.383.1950
Fax: 732.383.1984

SCALE: AS SHOWN
DATE: 03/27/2020
PROJECT NUMBER: 1806678A
DRAWING NAME: C-0175

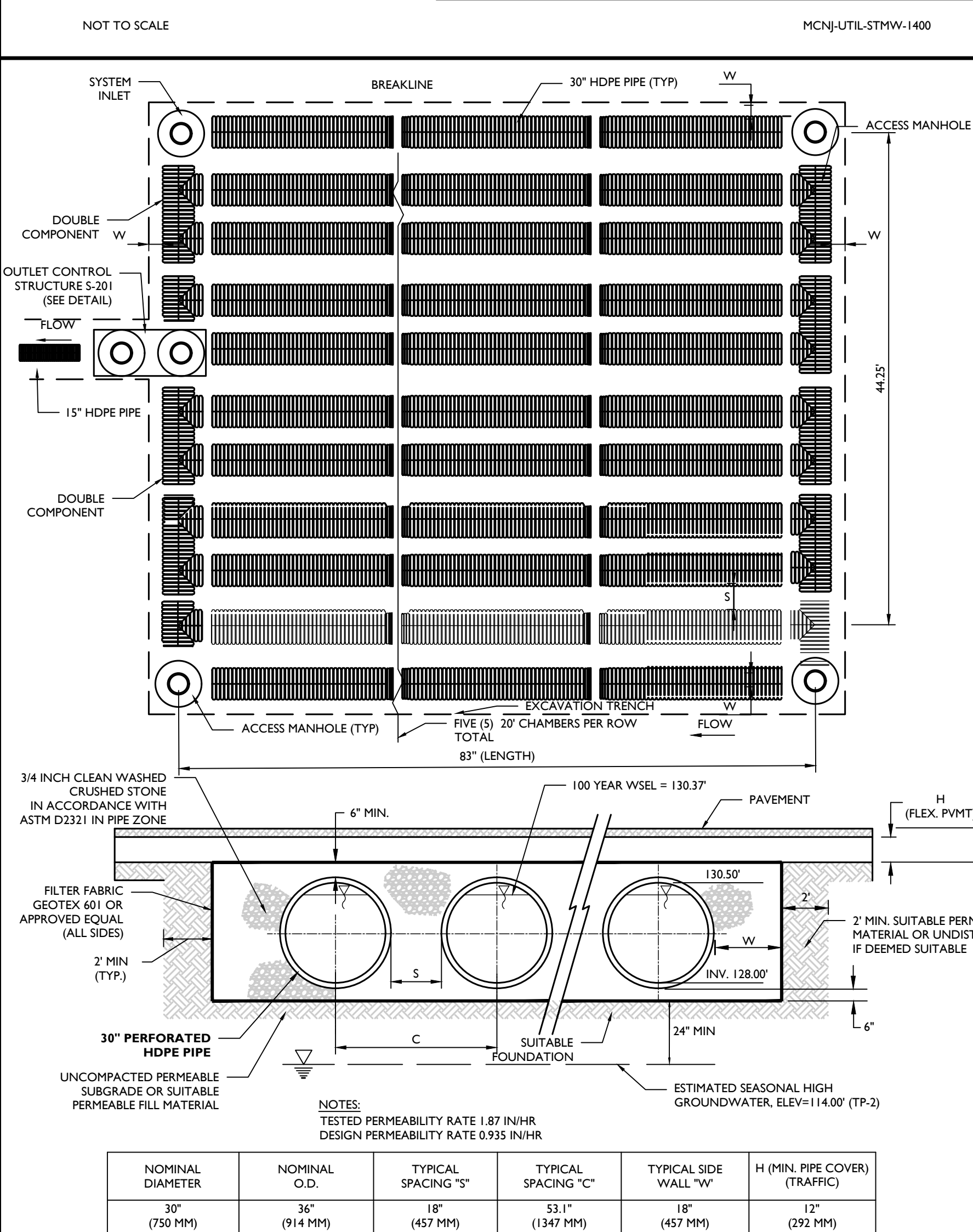
SHEET TITLE: CONSTRUCTION DETAILS

SHEET NUMBER: 15 of 16

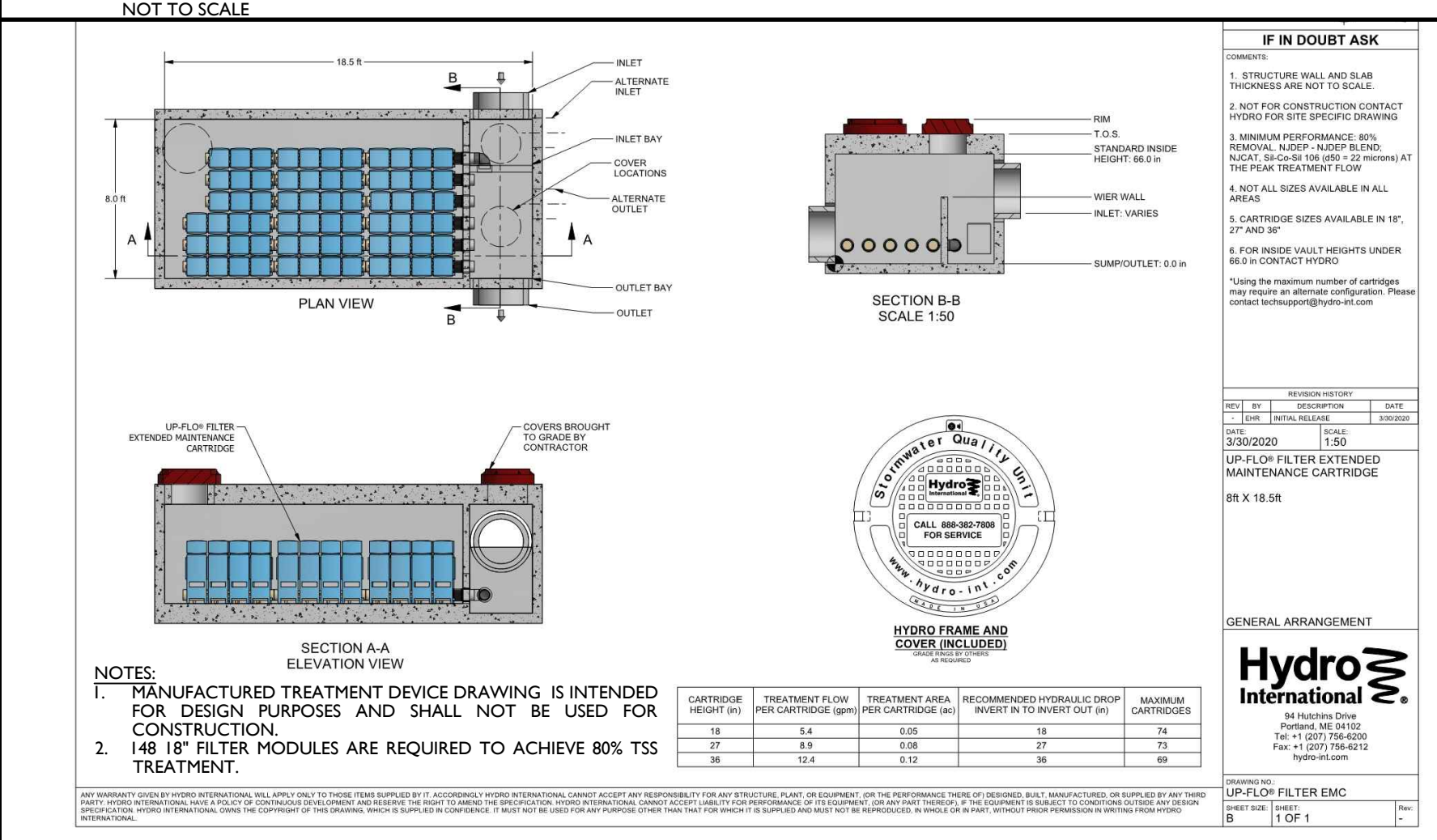
NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION



UNDERGROUND DETENTION BASIN (CLOSED SYSTEM) DETAIL - BASIN A



UNDERGROUND INFILTRATION (OPEN SYSTEM) DETAIL - BASIN B



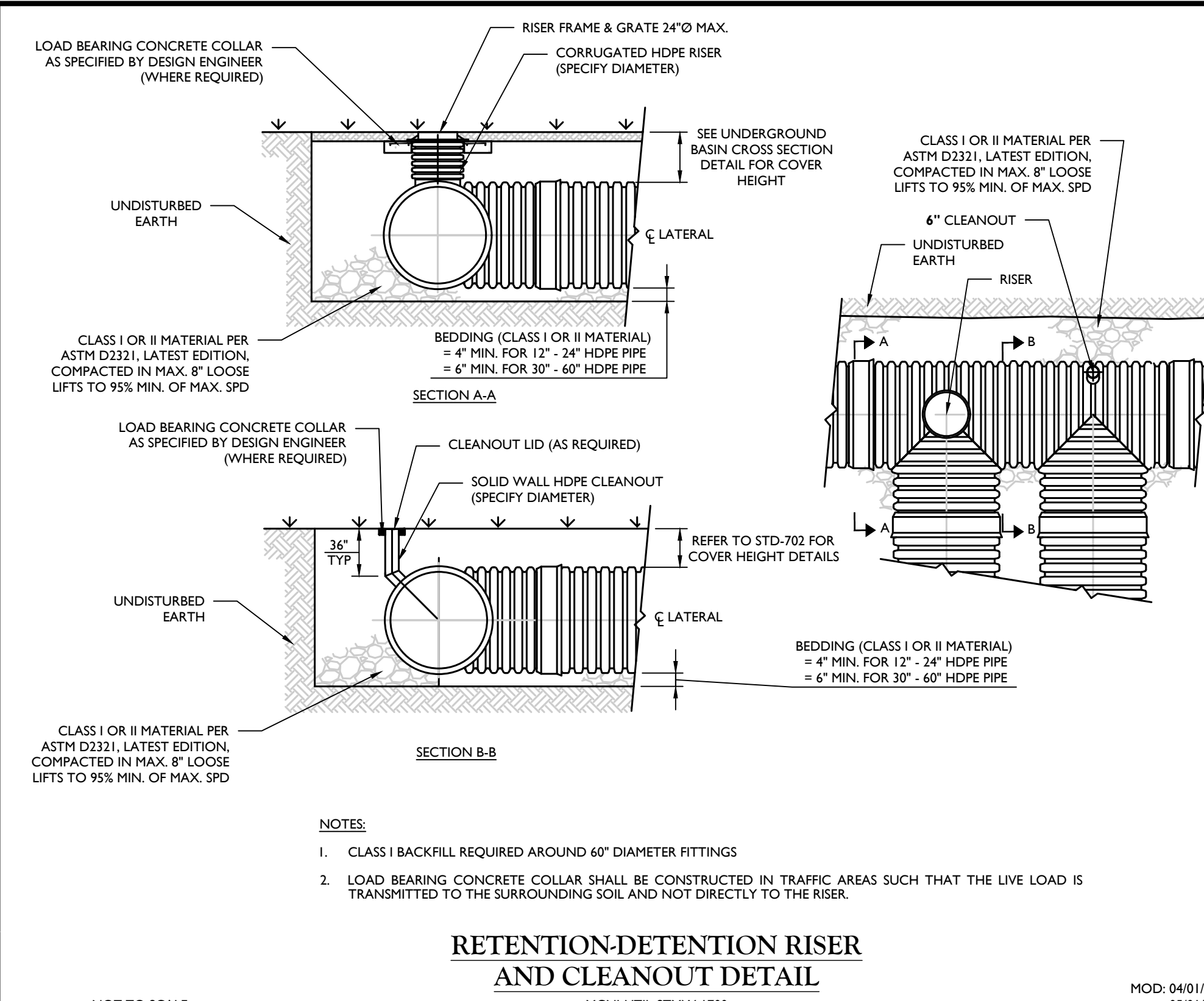
UNDERGROUND HDPE SYSTEM NOTES

- ALL REFERENCES TO CLASS I OR II MATERIAL ARE PER ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST EDITION.
- ALL RETENTION AND DETENTION SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, LATEST EDITION AND THE MANUFACTURER'S PUBLISHED INSTALLATION GUIDELINES.
- MEASURES SHOULD BE TAKEN TO PREVENT THE MIGRATION OF NATIVE FINES INTO THE BACKFILL MATERIAL WHEN REQUIRED. SEE ASTM D2321.
- FILTER FABRIC: A GEOTEXTILE FABRIC MAY BE USED AS SPECIFIED BY THE ENGINEER TO PREVENT THE MIGRATION OF FINES FROM THE NATIVE SOIL INTO THE SELECT BACKFILL MATERIAL.
- FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER. AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
- BEDDING: SUITABLE MATERIAL SHALL BE CLASS I OR II. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER, UNLESS OTHERWISE NOTED BY THE ENGINEER. MINIMUM BEDDING THICKNESS SHALL BE 4" FOR 42" PIPES, 6" FOR 30" PIPES.
- INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS I OR II IN THE PIPE ZONE EXTENDING NOT LESS THAN 6" ABOVE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
- MINIMUM COVER: MINIMUM COVER OVER ALL RETENTION/DETENTION SYSTEMS IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOATATION FOR TRAFFIC APPLICATIONS. MINIMUM COVER IS 12" UP TO 36" DIAMETER PIPE AND 24" OF COVER FOR 42" - 60" DIAMETER PIPE MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.

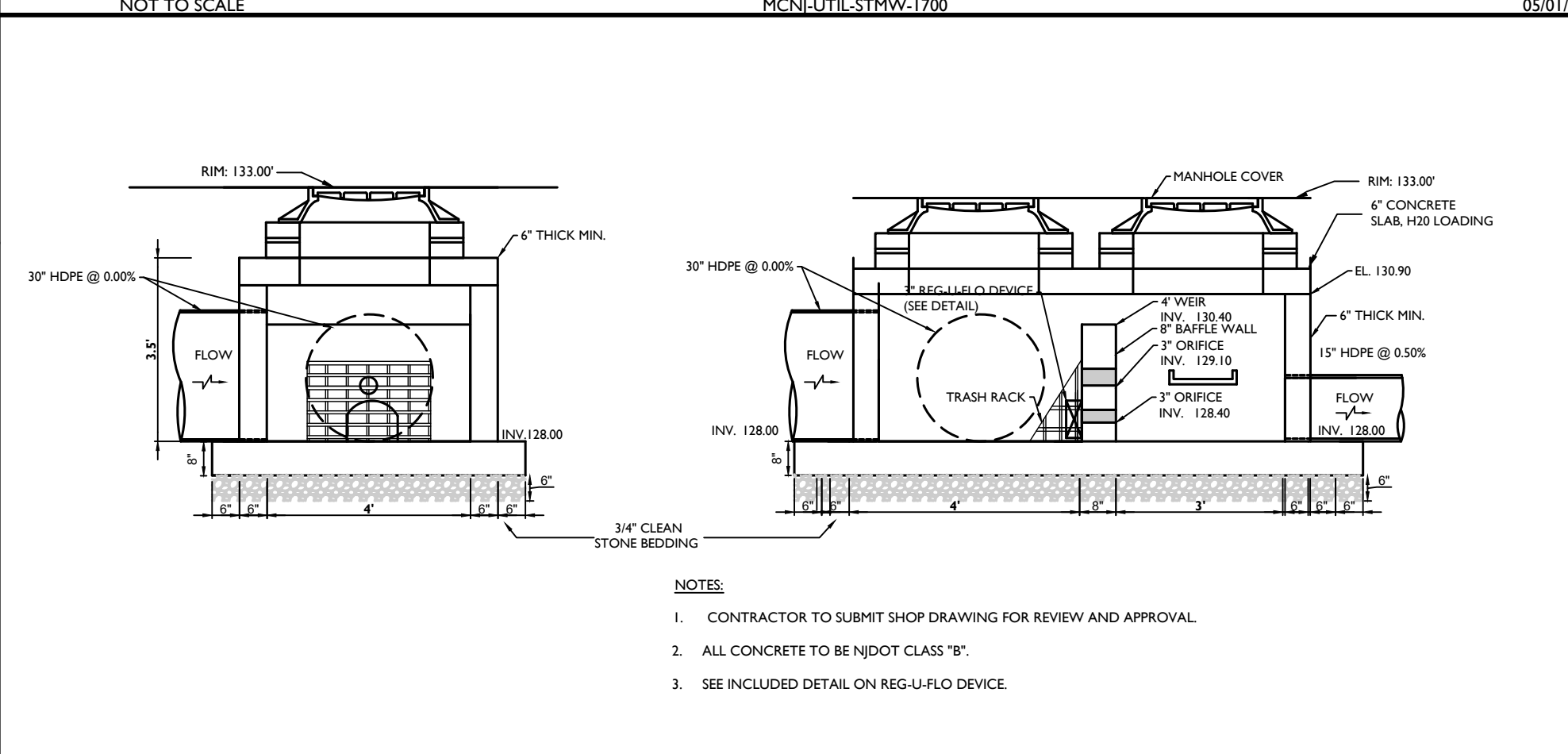
NOMINAL DIAMETER	NOMINAL O.D.	TYPICAL SPACING "S"	TYPICAL SPACING "C"	TYPICAL SIDE WALL "W"	H (MIN. PIPE COVER) (TRAFFIC)
60"	67"	6"	9"	18"	24"
(1500 MM)	(1702 MM)	(610 MM)	(2286 MM)	(457 MM)	(610 MM)

NOTES:

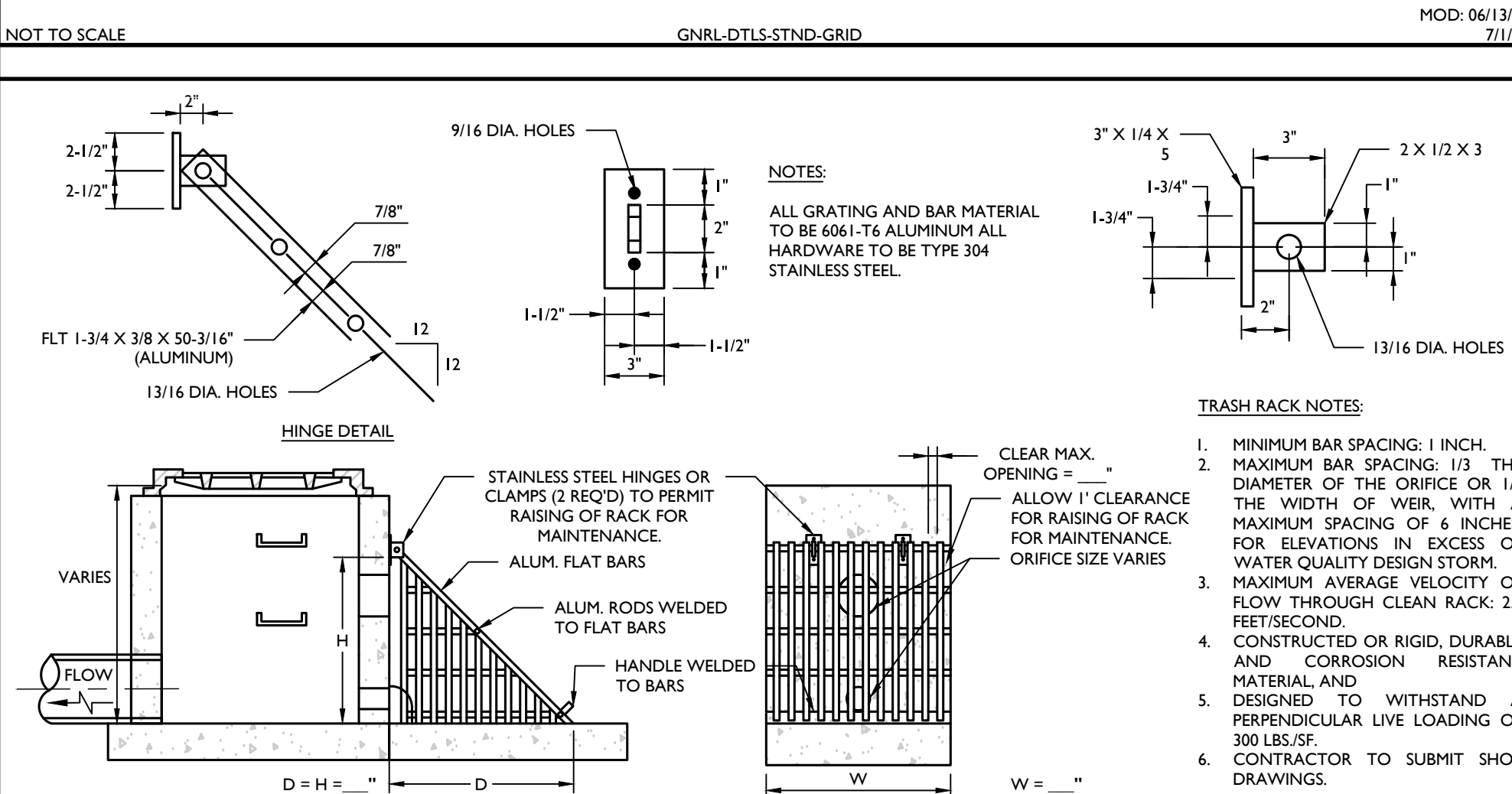
- SEE ABOVE CHART SPECIFIC TO MATERIAL/PIPE SIZES PER MANUFACTURER'S SPECIFICATIONS.
- (H) FOR FLEXIBLE PAVEMENT MAY INCLUDE THE PAVEMENT SUBBASE THICKNESS AS MINIMUM COVER.
- CLASS I(A) BACKFILL MATERIAL PER ASTM 2321 REQUIRED FOR PIPES 60" DIAMETER OR LARGER.



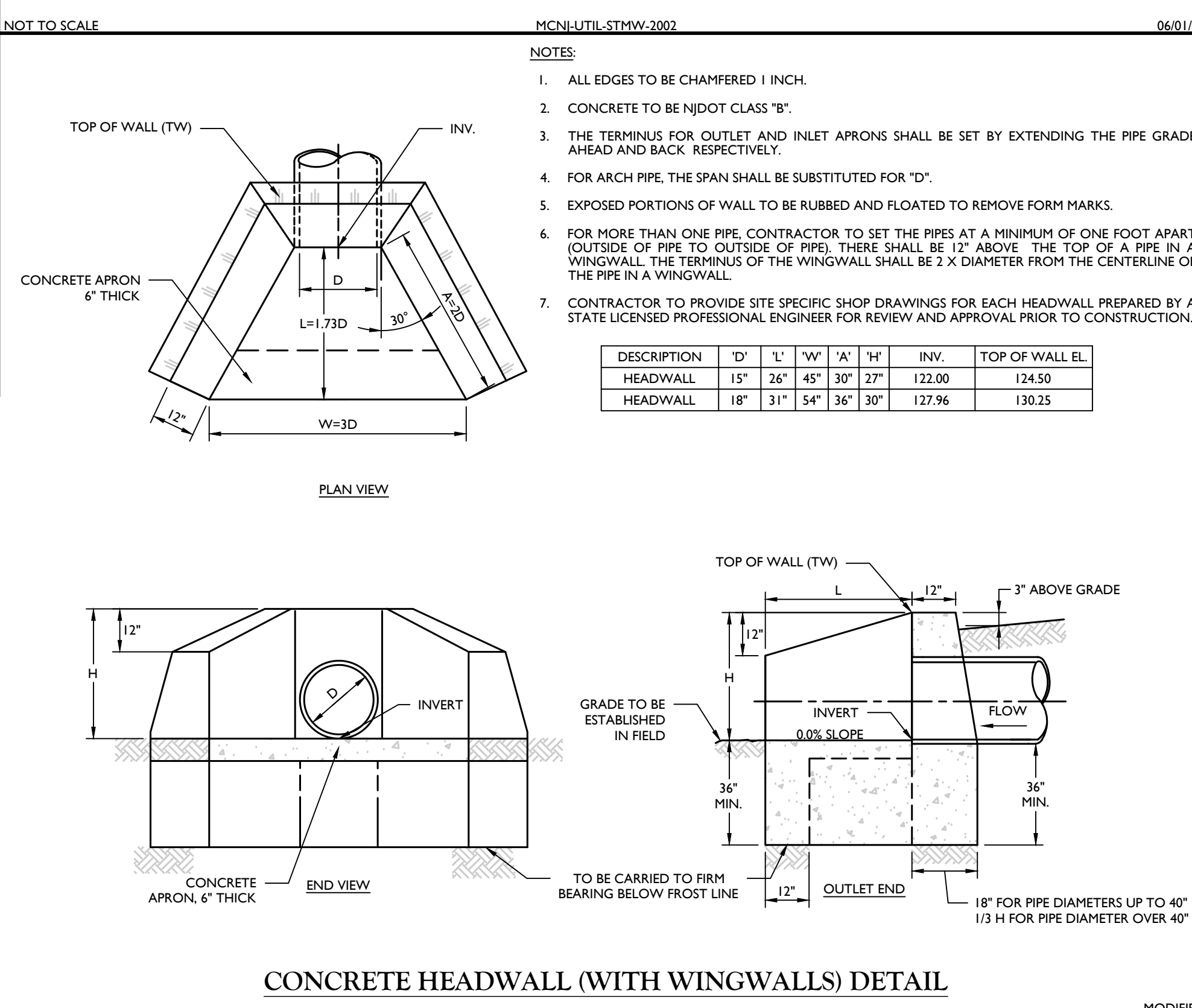
RETENTION-DETENTION RISER AND CLEANOUT DETAIL



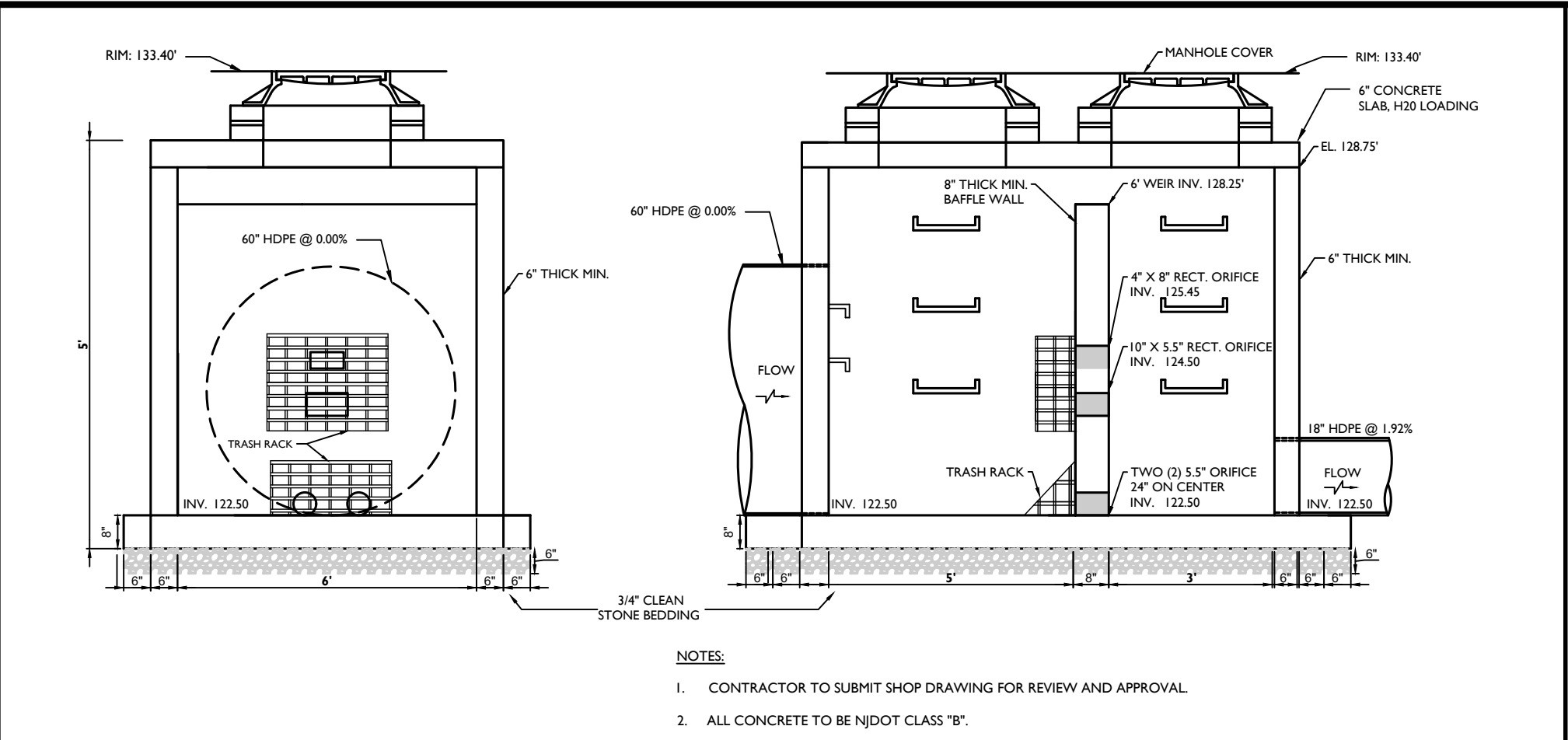
OUTLET CONTROL STRUCTURE S-201 DETAIL (BASIN B)



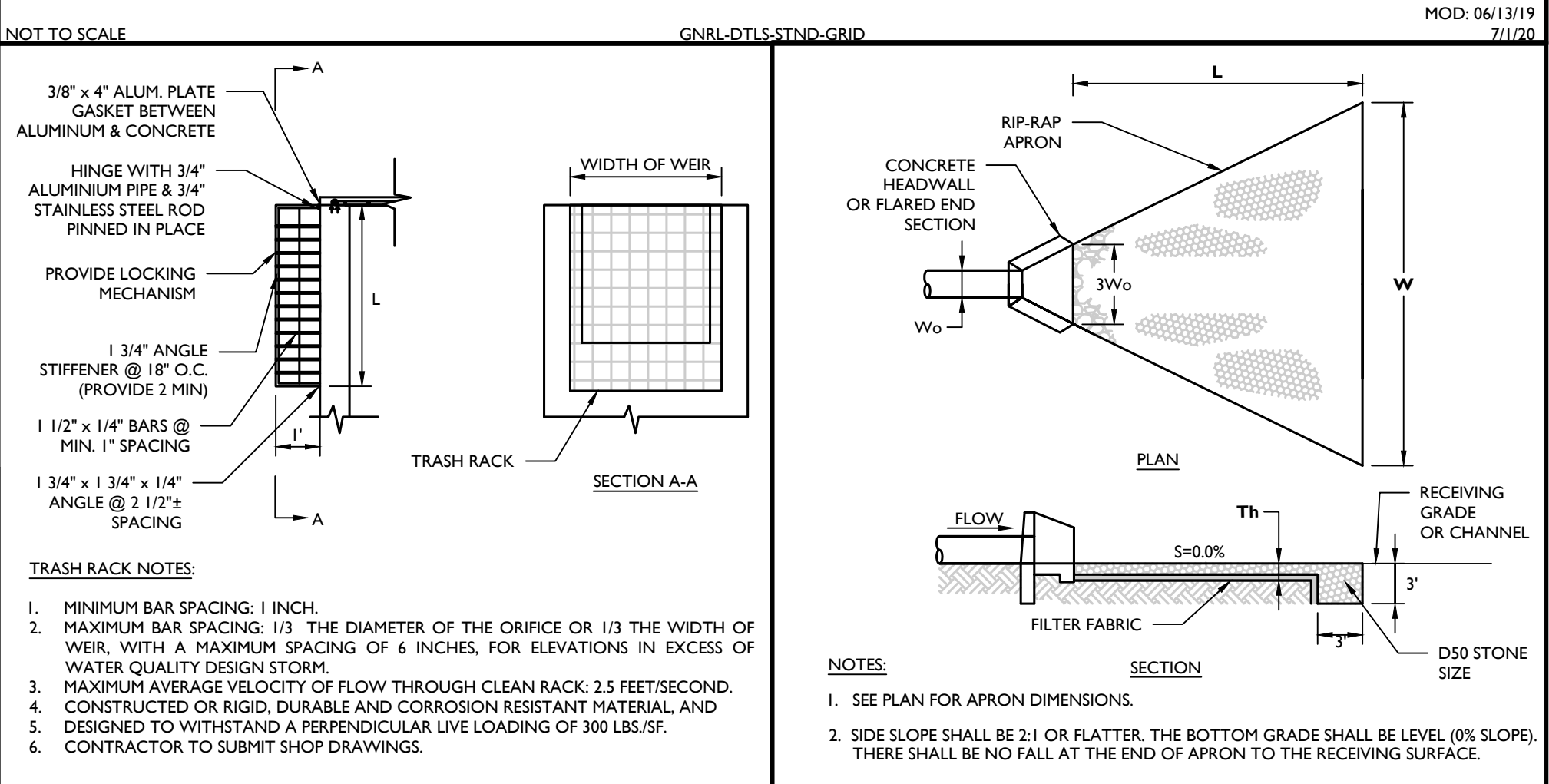
SLANTED TRASH RACK DETAIL



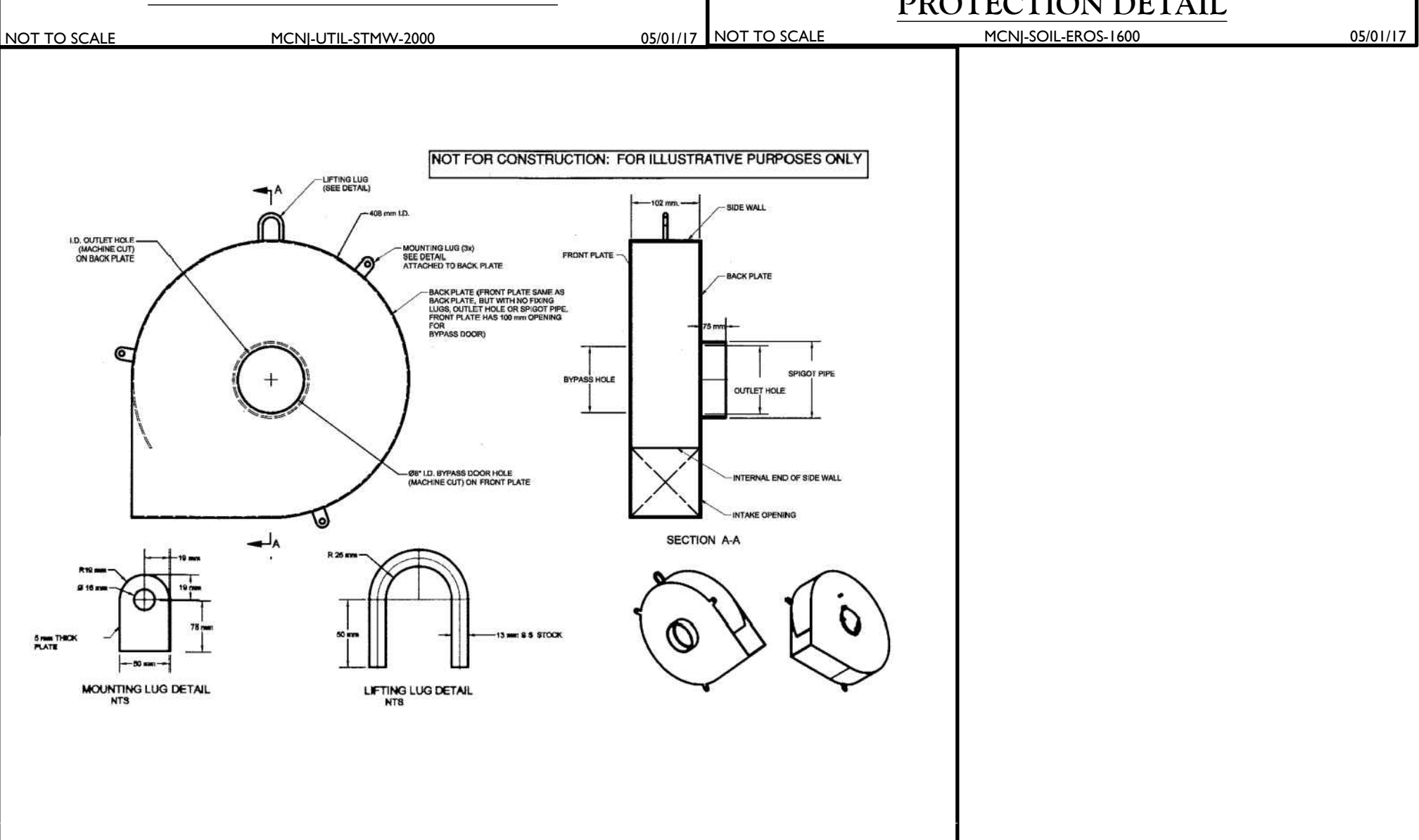
CONCRETE HEADWALL (WITH WINGWALLS) DETAIL



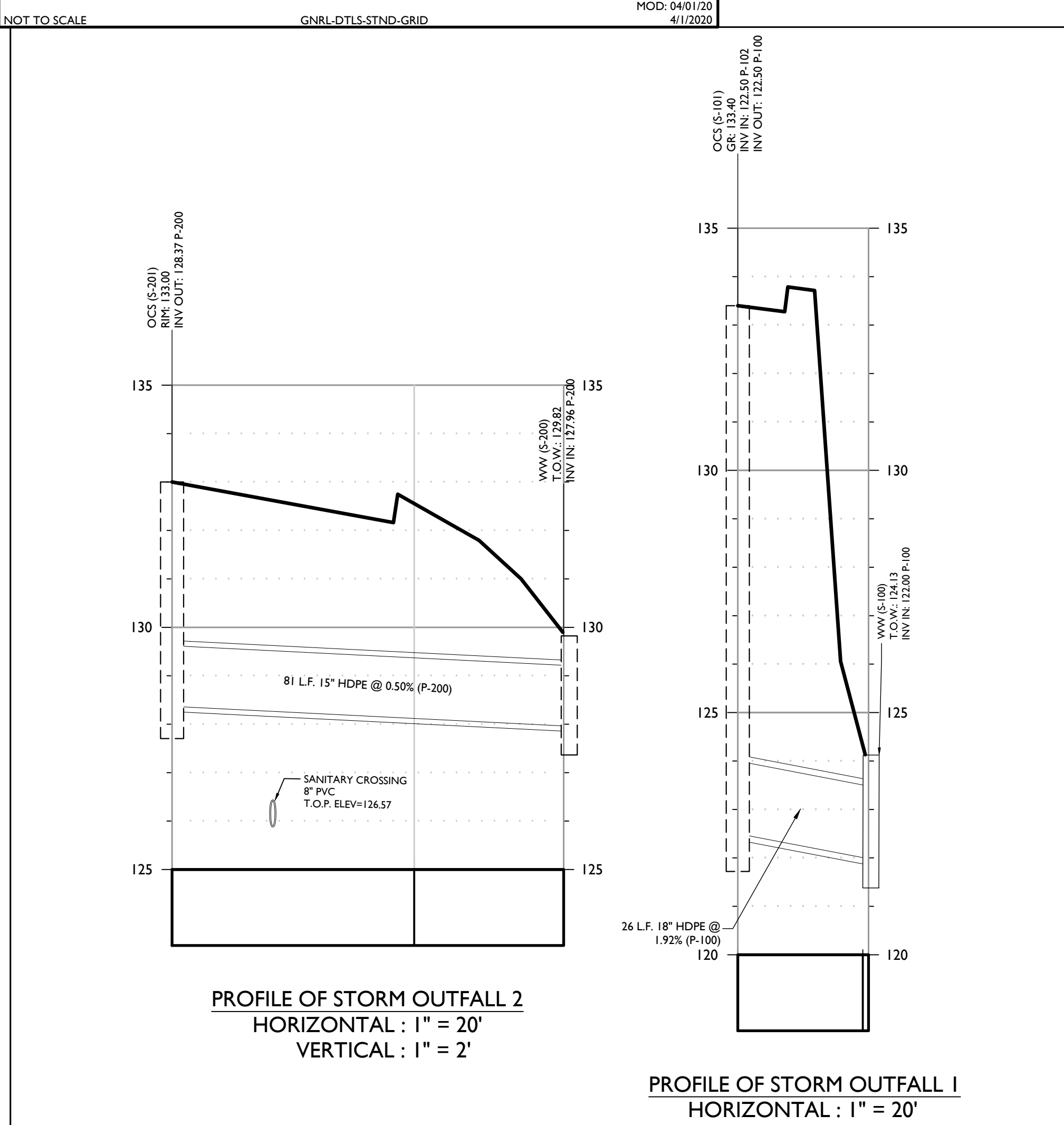
OUTLET CONTROL STRUCTURE S-101 DETAIL (BASIN A)



FLAT TRASH RACK DETAIL



REG-U-FLO VORTEX FLOW CONTROL DEVICE SH 3"



PROFILE OF STORM OUTFALL 2 HORIZONTAL: 1" = 20' VERTICAL: 1" = 2'

PROFILE OF STORM OUTFALL 1 HORIZONTAL: 1" = 20' VERTICAL: 1" = 2'

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SCALE: AS SHOWN, DATE: 03/27/2020, LSC: DS, DRAWN BY: C-DTL, PROJECT NUMBER: 18056675A, SHEET TITLE: SOIL EROSION AND CONSTRUCTION DETAILS, SHEET NUMBER: 16 of 16